



Meeting Instructions for the July 21, 2020, City Council Meeting:

This meeting will be held in Council Chambers, 1001 11th Avenue, and it is open to the public. Residents are welcome to join us in Council Chambers to view or participate in the meeting, during Citizen Input or Public Hearings. Council Chambers are set up to meet social distancing requirements, and everyone is required to wear a mask when inside except when addressing Council.

You can also view this Special Council Meeting by following the instructions below.

- From your laptop or computer, click the following link or enter it manually into your Web Browser: (<http://greeleygov.com/government/council>)
- Clicking the link above will take you to the City Council webpage.
- Once there, you will find a couple of link to the GTV8 livestream.

Citizen input and public comment for items appearing on this agenda as public hearings/quasi-judicial are valuable and welcome!

If you choose to view the meeting using the live stream, you can still participate in the Citizen Input and Public Hearing portions of the meeting by utilizing any of the follow:

Via email? – Submit to cityclerks@greeleygov.com

All comments submitted this way will be read into the record at the appropriate points during this meeting in real time. Comments can be submitted up to and throughout this meeting.

Via traditional Mail? - Address to the Greeley City Clerk's Office, 1000 10th Street, Greeley, CO 80631

All written comments must be received no later than the day of the meeting. Again, written comments received by mail will also be read into the record in real time.

In person in real time?

As mentioned above, you are welcome to join us in Council Chambers to provide Citizen Input or participate in the Public Hearing during this meeting.

The three options above are the only way for the public to submit comments or participate in the Citizen Input/Public Hearing Portions of the meeting.

Please visit the City's website at <https://greeleygov.com/government/council> to view and download the contents of the July 21, 2020, City Council Meeting. You are also welcome to call the City Clerk's Office at 970-350-9740 with any special needs or questions that you may have.



City Council Agenda

July 21, 2020 at 6:00 PM

1001 11th Avenue, City Center South, Greeley, CO 80631

Mayor

John Gates

Councilmembers

Tommy Butler
Ward I

Brett Payton
Ward II

Michael Fitzsimmons
Ward III

Dale Hall
Ward IV

Kristin Zasada
At-Large

Ed Clark
At-Large

A City Achieving
Community Excellence

Greeley promotes a healthy, diverse economy and high quality of life responsive to all its residents and neighborhoods, thoughtfully managing its human and natural resources in a manner that creates and sustains a safe, unique, vibrant and rewarding community in which to live, work, and play.

- [1.](#) Call to Order
- [2.](#) Pledge of Allegiance
- [3.](#) Roll Call
- [4.](#) Recognitions and Proclamations
- [5.](#) Citizen Input
- [6.](#) Approval of the Agenda
- [7.](#) Reports from Mayor and Councilmembers
- [8.](#) Initiatives from Mayor and Councilmembers

Consent Agenda

The Consent Agenda is a meeting management tool to allow the City Council to handle several routine items with one action.

Council or staff may request an item be "pulled" off the Consent Agenda and considered separately under the next agenda item in the order they were listed.

- [9.](#) Approval of the City Council Proceedings of July 7, 2020
- [10.](#) Introduction and first reading of an Ordinance changing the official zoning map of the City of Greeley, Colorado, from R-H (Residential High Density) to PUD (Planned Unit Development) for approximately 20.662 acres of property, located west of North 35th Avenue and south of "C" Street, known as the Stoneybrook Subdivision Filing No. 1 Block 1 Lot 4 Rezone

End of Consent Agenda

- [11.](#) Pulled Consent Agenda Items
- [12.](#) A public hearing to consider a Final PUD Amendment to allow for a 6,751 square foot building addition on a parcel of property located at 1121 M Street
- [13.](#) Strategic Housing Plan Progress/Update
- [14.](#) COVID-19 Update

- [15.](#) Appointment of applicants to the Civil Service Commission, Commission on Disabilities, Construction Trades Advisory & Appeals Board, Downtown Development Authority, Judicial Review Board, Museum Board, and Youth Commission
- [16.](#) Scheduling of Meetings, Other Events
- [17.](#) Consideration of a motion authorizing the City Attorney to prepare any required resolutions, agreements, and ordinances to reflect action taken by the City Council at this meeting and at any previous meetings, and authorizing the Mayor and City Clerk to sign all such resolutions, agreements and ordinances
- [18.](#) Adjournment

Council Agenda Summary

July 21, 2020

Agenda Item Number 1

Title

Call to Order

Council Agenda Summary

July 21, 2020

Agenda Item Number 2

Title

Pledge of Allegiance

Council Agenda Summary

July 21, 2020

Agenda Item Number 3

Title

Roll Call

Summary

Mayor Gates

Councilmember Butler

Councilmember Payton

Councilmember Hall

Councilmember Fitzsimmons

Councilmember Clark

Councilmember Zasada

Council Agenda Summary

July 21, 2020

Agenda Item Number 4

Title

Recognitions and Proclamations

Summary

Councilmember Clark will present the What's Great about Greeley Report.

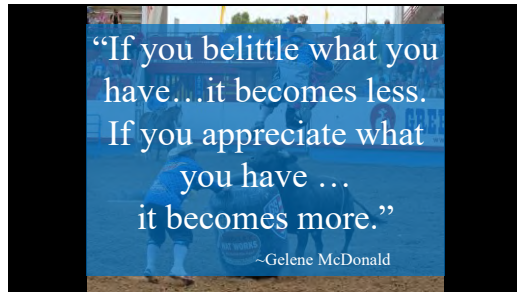
Attachments

July 21, 2020 What's Great about Greeley Report

Slide 1



Slide 2



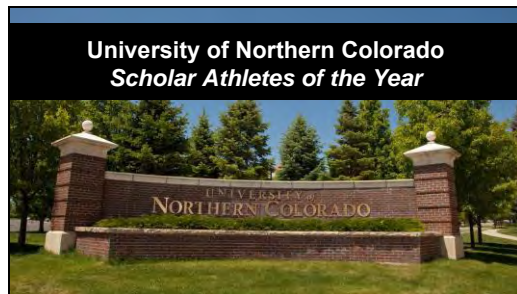
At each Council Meeting, we recognize the people, organizations and businesses that make Greeley Great. Tonight it's my turn to announce the recognitions. I'll start with a quote, "If you belittle what you have, it becomes less. If you appreciate what you have, it becomes more." With these announcements we are appreciating the good work of our residents, showing support for their efforts, and encouraging everyone to share the word that Greeley is Great.

Slide 3



Greeley has been ranked #76 on Resonance Consultancy's "America's 100 Best Small Cities" 2020 list. The list uses a combination of statistical performance and qualitative evaluations by locals and visitors in 23 areas grouped into six categories including place, people, programming, product, prosperity and promotion.

Slide 4



University of Northern Colorado athletes get it done on the field...and in the classroom. Football player Luke Nelson and track and field athlete Kylie Chavez received the Scholar Athletes of the Year award from Big Sky. Big Sky also honored 50 UNC spring sport athletes with Academic All-Big Sky selections. Five UNC women's golf team members received the title of Women's Golf Coaches Association All-American Scholar – a record number to receive the recognition. And, finally, the UNC swimming and diving team earned a spot on the College Swimming and Diving Coaches Association of America Scholar All-American Team list for the 17th consecutive semester.

Slide 5



Congratulations to Leprino Foods Co. in Greeley for receiving a 2020 U.S. Dairy Sustainability Award for 'Outstanding Dairy Processing and Manufacturing' from the Innovation Center for U.S. Dairy. The award honors dairy farms, businesses and partnerships whose practices improve the well-being of people, animals and the planet.

Slide 6



HIPPY USA recognized North Range Behavioral Health's Family Connects HIPPY program as "Program of the Year." The award is given biannually.

Slide 7



Congratulations to Wiley Roots Brewing Company for receiving a platinum award for their "Imperial Somethin' Got Played In the Mail-Six Pack Board Game" craft beer packaging at the Craft Beer Marketing Crushie Awards.

Slide 8



And that's What's Great about Greeley.

Council Agenda Summary

July 21, 2020

Agenda Item Number 5

Title

Citizen Input

Summary

During this 15 minute portion of the meeting, anyone may address the Council on any item of City Business appropriate for Council consideration that is not already listed on this evening's agenda. Individual comments read into the record will be limited to 3 minutes and must include the name and address of the person submitting the comments for the record.

Council Agenda Summary

July 21, 2020

Agenda Item Number 6

Title

Approval of the Agenda

Council Agenda Summary

July 21, 2020

Agenda Item Number 7

Title

Reports from Mayor and Councilmembers

Summary

During this portion of the meeting any Councilmember may offer announcements or reports on recent events and happenings. These reports should be a summary of the Councilmember's attendance at assigned board/commission meetings and should include key highlights and points that may require additional decision and discussion by the full Council at a future time.

Council Agenda Summary

July 21, 2020

Agenda Item Number 8

Title

Initiatives from Mayor and Councilmembers

Summary

During this portion of the meeting any Councilmember may bring before the Council any business that the member feels should be deliberated upon by the Council. These matters need not be specifically listed on the Agenda, but formal action on such matters shall be deferred until a subsequent Council meeting.

Initiatives will generally fall into three categories:

- 1) A policy item for Council deliberation and direction for a future Worksession, Committee meeting, or regular/special Council meeting;
- 2) A request to the City Manager for information or research;
- 3) A request involving administrative processes or procedures.

At the close of this portion of the meeting, the Mayor will confirm Council's consensus that the individual requests be pursued.

Attachments

Status Report of Council Initiatives and Related Information

Greeley City Council

Status Report of Council Initiatives

Council Request	Council Meeting, Worksession, or Committee Meeting Date Requested	Status or Disposition (After completion, item is shown one time as completed and then removed.)	Assigned to:
Councilmember Butler requested that the Mayor, City Council, and the City's Executive Team participate in racial sensitivity training.	June 16, 2020	An item has been scheduled for the July 28 th Worksession to discuss possibilities/topics for training.	Becky Safarik
Councilmember Clark requested that staff look into potentially having Council take different police trainings/ride alongs (which include implicit bias, de-escalation, shoot/don't shoot, etc.) in addition to the racial sensitivity training.	July 7, 2020	An item has been scheduled for the July 28 th Worksession to discuss possibilities/topics for training.	Becky Safarik
Councilmember Clark requested that the Mayor and Council receive a tutorial on Open Records Law.	July 7, 2020		
Councilmember Clark requested to have a meeting with City Attorney Doug Marek to receive information from the City Attorney's Office regarding the City Attorney's Office role/who they represent as well as a discussion of communication issues and timeliness of response between the City Attorney's Office and Councilmember Clark.	July 7, 2020		Doug Marek

Consent Agenda

July 21, 2020

The Consent Agenda is a meeting management tool to allow the City Council to handle several routine items with one action.

Once the Clerk has read each Consent Agenda item into the record, along with Council's recommended action, Council or staff may request the item be "pulled" off the Consent Agenda and considered separately under the next agenda item in the order they were listed.

The Consent Agenda includes Items No. 9 through 10 and their recommended actions.

Council's Recommended Action

To approve Items No. ____ through ____ or

To approve Items No. ____ through ____ with the exceptions of No.(s) ____

Council Agenda Summary

July 21, 2020

Agenda Item Number 9

Key Staff Contact: Cheryl Aragon, Interim City Clerk, 350-9743

Title:

Approval of the City Council Proceedings of July 7, 2020

Summary:

A meeting of the City Council was held on July 7, 2020, in Council's Chambers located at 1001 11th Avenue.

Decision Options:

1. To approve the proceedings as presented; or
2. Amend the proceedings if amendments or corrections are needed, and approve as amended.

Council's Recommended Action:

A motion to approve the City Council proceedings as presented.

Attachments:

July 7, 2020 Proceedings

City of Greeley, Colorado
CITY COUNCIL PROCEEDINGS
July 7, 2020

1. Call to Order

Mayor John Gates called the meeting to order at 6:00 p.m., in the Council's Chambers at the City Center South Campus, 1001 11th Avenue.

2. Pledge of Allegiance

Mayor Gates led the Pledge of Allegiance to the American Flag.

3. Roll Call

Jerry Harvey, Assistant City Clerk, called the roll. Those present were Mayor John Gates and Councilmembers Tommy Butler, Ed Clark, Michael Fitzsimmons, Dale Hall, Brett Payton and Kristin Zasada.

4. Recognitions and Proclamations

Councilmember Butler presented the What's Great About Greeley Report.

Mayor Gates also spoke about the passing of former Councilmember Carlos Leal and shared some thoughts and memories. Carmen Whitehead, Councilmember Leal's granddaughter, and Val Leal-Whitehead, Councilmember Leal's oldest daughter, both thanked Council and shared memories and thoughts.

5. Citizen Input

Taylor Sullivan, Greeley resident, deferred her time to Sherrie Peif.

Sherrie Peif, Evans resident, spoke briefly on the passing of former Councilmember Leal. She then spoke about her grandmother's immigration story and her own personal stories about growing up poor. Ms. Peif expressed her desire that the sensitivity training Council is about to receive needs to cover all cultures, including white culture. She concluded by noting that she cares about the security of children and the community, adding that she is proud of the Greeley Police Department and that the City should not defund the police.

Rick Reeser, Greeley resident, spoke about the need for law and order but not repression. He added that he does not support defunding the Greeley Police Department.

Steve Teets, Greeley resident, thanked Council for allowing Greeley-Evans Transit to run during this pandemic. He also spoke in support of Councilmember Zasada's right to freedom of speech.

Samuel Johnson, Greeley resident, explained that he is new to Greeley but sees that there are issues specifically regarding race and policing. He added that he wants funding from the Police Department to go to programs that can actually help community, and he spoke about the issue of lack of diversity on Council.

Carl Alm, Weld County resident, spoke about his experience as a former police officer and spoke about the good tools and good training Greeley Police Officers receive. He expressed the need to trust the Police.

Gavin Hamilton, Greeley resident, expressed his concern that sensitivity training is not enough. He asked Council how they are holding themselves accountable and what they are doing for vulnerable populations within the community. He also invited Council to attend meetings related to vulnerable populations.

Mayor Gates concluded this item by responding to emails Council had received regarding fireworks.

6. Approval of Agenda

The agenda was approved after noting two handouts. The first was for the addition of a new item, 21A on the consent agenda, and the other was for additional materials for Item 24.

Becky Safarik, Assistant City Manager, also reminded Council and the public of the Human Relations Commission community forum on race in the community being held on July 15th at 6:00 p.m. via Zoom Meetings.

7. Reports from Mayor and Councilmembers

Councilmember Butler spoke about his attendance and speech at the Naturalization Ceremony on July 4th.

8. Initiatives from Mayor and Councilmembers

Councilmember Clark requested that the Mayor and Council receive a tutorial on Open Records Law.

In addition, he requested to have a meeting with City Attorney Doug Marek to receive information from the City Attorney's Office regarding the City Attorney's Office role/who they represent as well as a discussion of communication issues and timeliness of response between the City Attorney's Office and Councilmember Clark.

He also requested that staff look into potentially having Council take different police trainings/ride alongs (which include implicit bias, de-escalation, shoot/don't shoot, etc.) in addition to the racial sensitivity training.

Ms. Safarik noted that there is a future Worksession scheduled to discuss sensitivity training options and topics.

Consensus was reached by Council on all of Councilmember Clark's petitions.

***** Consent Agenda *****

9. Approval of the Special City Council Proceedings of June 9, 2020

The Council action recommended was to approve the Proceedings.

10. Acceptance of the Report of the June 9, 2020, City Council Worksession

The Council action recommended was to accept the Report.

11. Acceptance of the Report of the June 12, 2020, Council Briefing: COVID-19 Update

The Council action recommended was to accept the Report.

12. Approval of the City Council Proceedings of June 16, 2020

The Council action recommended was to approve the Proceedings.

13. Approval of the Special City Council Proceedings of June 23, 2020

The Council action recommended was to approve the Proceedings.

14. Acceptance of the Report of the June 23, 2020, City Council Worksession

The Council action recommended was to accept the Report.

15. Consideration of Amendment 2 to the Citizen Participation Plan

The Council action recommended was to Accept Amendment 2 to the Citizen Participation Plan.

16. Consideration of a resolution of the City of Greeley Council authorizing the City to enter into Amendment No.5 of an Intergovernmental Agreement with the Colorado Department of Transportation to update the total funding for construction for the 10th Street access control and roadway improvements project between 23rd Avenue and 35th Avenue

The Council action recommended was to adopt the resolution. (Resolution No. 32, 2020)

17. Consideration of a resolution of the City of Greeley Council authoring the City to enter into an Intergovernmental Agreement with the City of Evans for a roadway improvement project on 47th Avenue

The Council action recommended was to adopt the resolution. (Resolution No. 33, 2020)

18. Consideration of a resolution of the City of Greeley authorizing the City to enter into an Intergovernmental Agreement between the City of Greeley and the Colorado Department of Transportation for design of a interchange at Highway 34 Bypass and 35th Avenue

The Council action recommended was to adopt the resolution. (Resolution No. 34, 2020)

19. Consideration of a resolution of the City of Greeley authorizing the City to enter into an Intergovernmental Agreement between the City of Greeley and the Colorado Department of Transportation for design of a interchange at Highway 34 Bypass and 47th Avenue

The Council action recommended was to adopt the resolution. (Resolution No. 35, 2020)

20. Consideration of a resolution of the City of Greeley Council authorizing the City to enter into an Intergovernmental agreement with the Colorado Department of Transportation for the Greeley Transportation Master Plan Project

The Council action recommended was to adopt the resolution. **(Resolution No. 36, 2020)**

21. Consideration of a Resolution of the City Council of the City of Greeley, Colorado authorizing the City to enter into a closure and removal agreement with Union Pacific Railroad for 6th Street

The Council action recommended was to adopt the resolution. **(Resolution No. 37, 2020)**

21A. Consideration of a resolution appointing Anissa N. Hollingshead to the position of City Clerk

The Council action recommended was to adopt the resolution. **(Resolution No. 38, 2020)**

****** End of Consent Agenda ******

Councilmember Payton moved, seconded by Councilmember Butler to approve items 9-14 and items 16-21A on the Consent Agenda and their recommended actions. The motion carried: 7-0

22. Pulled consent agenda items

15. Consideration of Amendment 2 to the Citizen Participation Plan

Benjamin Snow, Economic Health & Housing Director, briefly discussed the plan and the need for the plan.

Councilmember Clark expressed concern that some may not be able to participate or make their voices heard with this new process.

Mr. Snow explained that there were issues with attendance at public meetings before the pandemic, so they thought it would be worth changing to virtual meetings. He noted that traditional methods are still being used to notice the public, adding that they are just switching to virtual meetings and public input.

Ms. Safarik added that staff is in contact with member of vulnerable populations to ensure that they are aware of the changes in procedure.

Mr. Snow added that he will report back to Council later this year to show how well the new processes are going.

Councilmember Clark moved, seconded by Councilmember Zasada to accept Amendment 2 to the Citizen Participation Plan. The motion carried (7-0)

23. Public hearing and final reading of an ordinance amending Chapter 13.44 of the Municipal Code of the City of Greeley relating to Local Improvement Districts

Sean Chambers, Water & Sewer Director, provided background on Local Improvement Districts (LIDs) as well as background of Greeley's Code as it relates to LIDs along with the reasons for the recommended changes. He continued by describing the current limitation within the Code relating to LIDs; provided different examples related to LIDs within Greeley; and briefly discussed the proposed revisions to the sections of Greeley's Code related to LIDs.

In response to a question from Councilmember Payton, Mr. Chambers explained that consultants will be reviewing impact fees.

Councilmember Butler inquired as to whether affordable housing developers were consulted. Mr. Chambers explained that they have been consulted and that they support the concept. He added that their current properties are not within any LIDs.

In response to a question from Councilmember Clark, Mr. Chambers explained that the costs associated with LIDs are included in the price of homes when they are purchased.

Councilmember Payton inquired about how an incoming homeowner would know they are in a LID. Mr. Chambers explained that a homeowner does not have any obligations to the LID when they move in. He reiterated that the costs associated with the LID are paid during the building permit process and that cost is passed on to the home buyer in the cost of the home or property.

Mayor Gates opened the public hearing at 7:04 p.m., and no comments were offered.

Councilmember Payton moved, seconded by Councilmember Hall to adopt the ordinance and publish with reference to title only. The motion carried: 7-0 (**Ordinance No. 15, 2020**)

24. COVID-19 Update

Dan Frazen, Emergency Manager, provided an update on current number of cases, total fatalities related to COVID-19, and total hospitalization related to COVID-19. He also provided an update on the personal isolation facilities at Bonnel and The Ranch in Loveland. He concluded by noting that personal protective equipment supplies are doing great; provided an update on current testing sites in Greeley; and explained that the City is still below the recommended 5% of positivity.

In response to questions from Councilmember Butler, Mr. Frazen explained that he was not sure what caused the spike in tests at the Aims Community College testing site but that he would look into it and follow up with Council. He added that the wait time for COVID-19 test results varies depending on which lab conducts the test, but it typically takes between 24 hours and 4 days depending on the lab.

25. Scheduling of meetings, other events

There were no additional meeting or events scheduled.

26. Consideration of a motion authorizing the City Attorney to prepare any required resolutions, agreements, and ordinances to reflect action taken by the City Council at this meeting and at any previous meetings, and authorizing the Mayor and City Clerk to sign all such resolutions, agreements, and ordinances

Councilmember Payton moved, seconded by Councilmember Zasada to approve the above authorizations, and the motion carried: 7-0

27. Adjournment

There being no further business to come before the Council, Mayor Gates adjourned the meeting at 7:13 p.m.

John Gates, Mayor

Jerry Harvey, Assistant City Clerk

Council Agenda Summary

July 21, 2020

Agenda Item Number 10

Key Staff Contact: Brad Mueller, Community Development Director, 970-350-9786
 Caleb Jackson, Planner, 970-350-9876

Title:

Introduction and first reading of an Ordinance changing the official zoning map of the City of Greeley, Colorado, from R-H (Residential High Density) to PUD (Planned Unit Development) for approximately 20.662 acres of property, located west of North 35th Avenue and south of "C" Street, known as the Stoneybrook Subdivision Filing No. 1 Block 1 Lot 4 Rezone

Summary:

The City of Greeley is considering a request to rezone a 20.6-acre tract from R-H (Residential High Density) to PUD (Planned Unit Development). The subject site is located west of N. 35th Avenue and south of "C" Street. If the rezoning request is approved, the application seeks to establish a Preliminary PUD to allow for a mobile home community.

The Planning Commission will consider this request on July 14, 2020.

Fiscal Impact:

Does this item create a fiscal impact on the City of Greeley?	No
If yes, what is the initial, or, onetime impact?	
What is the annual impact?	
What fund of the City will provide Funding?	
What is the source of revenue within the fund?	
Is there grant funding for this item?	N/A
If yes, does this grant require a match?	
Is this grant onetime or ongoing?	
Additional Comments:	

Legal Issues:

Consideration of this matter is a quasi-judicial process.

Other Issues and Considerations:

None noted.

Applicable Council Priority and Goal:

Consistency with Comprehensive Plan and Development Code standards.

Decision Options:

- 1) Introduce the ordinance as presented; or
- 2) Amend the ordinance and introduce as amended; or
- 3) Deny the ordinance; or
- 4) Continue consideration of the ordinance to a date certain.

Council's Recommended Action:

A motion to introduce the ordinance and schedule the public hearing and final reading for August 4, 2020.

Attachments:

Ordinance

Vicinity Map

Planning Commission Summary (Staff Report) (July 14, 2020) [Attachments G – L omitted and available upon request]

CITY OF GREELEY, COLORADO

ORDINANCE NO. _____, 2020

CASE NO. ZON2020-0008

AN ORDINANCE CHANGING THE OFFICIAL ZONING MAP OF THE CITY OF GREELEY, COLORADO, FROM R-H (RESIDENTIAL HIGH DENSITY) TO PUD (PLANNED UNIT DEVELOPMENT) FOR 20.662 ACRES OF PROPERTY, LOCATED WEST OF NORTH 35TH AVENUE AND SOUTH OF "C" STREET, KNOWN AS THE STONEYBROOK SUBDIVISION FILING NO. 1 BLOCK 1 LOT 4 REZONE

BE IT ORDAINED BY THE CITY COUNCIL OF GREELEY, COLORADO:

Section 1. The following described property located in the City of Greeley is hereby changed from the zoning district referred to as R-H (Residential High Density) to PUD (Planned Unit Development) zoning for 20.662 acres of property, in the City of Greeley, County of Weld, State of Colorado:

See attached legal description

Section 2. The boundaries of the pertinent zoning districts as shown on the official zoning map are hereby changed so as to accomplish the above-described zoning changes, and the Mayor and City Clerk are hereby authorized and directed to sign and attest an entry which shall be made on the official zoning map to reflect this change.

Section 3. This ordinance shall become effective five (5) days after its final publication as provided by the Greeley City Charter.

PASSED AND ADOPTED, SIGNED AND APPROVED, THIS _____ DAY OF _____, 2020.

ATTEST:

THE CITY OF GREELEY

City Clerk

Mayor

Legal Description

LOT 4, BLOCK 1, STONEYBROOK SUBDIVISION FILING NO. 1, CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO AS RECORDED IN THE OFFICE OF THE WELD COUNTY CLERK AND RECORDER ON JULY 7, 1999 AT RECEPTION NUMBER 2710177.

SAID DESCRIBED PARCEL CONTAINS 20.662 ACRES, MORE OR LESS (±).

VICINITY MAP



PLANNING COMMISSION SUMMARY

ITEMS: Rezone property from R-H (Residential High Density) to PUD (Planned Unit Development) and a Preliminary PUD

FILE NUMBER: ZON2020-0008 & PUD2019-0004

PROJECT: Stoneybrook Subdivision Filing No. 1, Block 1, Lot 4 Rezone & Preliminary PUD

LOCATION: West of N 35th Avenue, South of C Street

APPLICANT: Bob Eck of Stoneybrook 234 LLC

CASE PLANNER: Caleb Jackson, AICP | Planner II

PLANNING COMMISSION HEARING DATE: July 14, 2020

PLANNING COMMISSION FUNCTION:

The Planning Commission shall consider the staff report, along with testimony and comments made by the applicant and the public and shall then make recommendations to the City Council regarding the applications in the form of a finding based on the review criteria in Sections 18.30.050(c)(3) and 18.32.040(b) of the Development Code.

EXECUTIVE SUMMARY

The City of Greeley is considering a request from Bob Eck of Stoneybrook 234 LLC to rezone approximately 20.7 acres of land from R-H (Residential High Density) to PUD (Planned Unit Development) and establish a Preliminary PUD allowing a mobile home community consisting of approximately 142 dwelling units located at the southwest corner of N 35th Avenue at C Street.

A. REQUEST

The applicant is requesting approval to rezone approximately 20.7 acres located at the southwest corner of N 35th Avenue at C Street (see Attachments A & B) from R-H (Residential High Density) to PUD (Planned Unit Development) and establish a Preliminary PUD allowing a mobile home community consisting of approximately 142 dwelling units. A Final PUD would be required within 3 years of the date of approval of a Preliminary PUD.

The proposed Preliminary PUD (see Attachment C) consists of a single lot with approximately 142 sites for mobile homes served by private streets. Open space, trail connections, and amenities

are incorporated into the project to allow for pedestrian connectivity, outdoor activity, and access to the Broadview Acres Trail being extended by the City adjacent to the site with construction beginning in Fall 2020. Vehicular access is proposed from C Street.

As highlighted by the Strategic Housing Plan in 2019, the base code standards for mobile home communities are outdated and prohibitive. As such, staff recommended that the applicant pursue a PUD to establish modern standards that facilitate development of the mobile home community while ensuring a high-quality development. Identified deviations from typical code standards are outlined on Page 3 of the Preliminary PUD (see Attachment C).

B. STAFF RECOMMENDATION

Approval

C. LOCATION

Abutting Zoning/Land Use:

North: R-MH (Residential Mobile Home Community)

South: C-L (Commercial Low Intensity), I-M (Industrial Medium Intensity), & R-L (Residential Low Density)

East: R-MH (Residential Mobile Home Community)

West: R-MH (Residential Mobile Home Community)

Site Characteristics:

The site is presently undeveloped and slopes northward with the highline being along the south property line adjacent to the Greeley #3 Ditch. A small section on the north side of the property, where C Street is located, sits within the 100-year floodplain.

Surrounding Land Uses:

North: Retention Pond

South: Greeley #3 Ditch, Vet Hospital, Landscaping Contractor, Fire Training Facility

East: Mobile Home Community

West: Mobile Home Community

D. BACKGROUND

The subject property was annexed into the City of Greeley as part of the Putnam Farm Annexation in 1985 by Ordinance No. 85. The subject property was zoned R-3 (Multi-Family Residential) upon annexation by Ordinance No. 97, 1985. With the adoption of the Zoning Code of 1998, the R-3 Zoning District transitioned to the R-H Zoning District. The site has remained undeveloped without concrete development proposals prior to this request.

E. APPROVAL CRITERIA

Rezone Criteria:

In accordance with §18.30.050, the following criteria, as applicable, should be used to evaluate the rezoning request:

a. Has the area changed, or is it changing to such a degree that it is in the public interest to rezone the subject property to encourage development or redevelopment of the area?

Staff Comment: The subject area has changed since the initial zoning in 1985, with the successful completion of a mobile home community to the west of the subject site, and additional development in the vicinity such as the fire training facility. Rezoning is in the public interest to encourage development of the subject site, and facilitate development of manufactured home communities as described in the Strategic Housing Plan.

The proposed request complies with this criterion.

b. Has the existing zoning been in place for at least fifteen (15) years without substantial development resulting and does the existing zoning appear to be obsolete, given development trends?

Staff Comment: The existing R-H zoning has been in place since annexation in 1985. The current zoning appears obsolete considering that the site remains vacant, while adjacent sites successfully operate as mobile home communities.

The request complies with this criterion.

c. Are there clerical or technical errors to correct?

Staff Comment: The proposal is not related to correcting clerical or technical errors.

This criterion is not applicable.

d. Are there detrimental environmental conditions, such as flood plains, presence of irrigation ditches, inadequate drainage, slopes, unstable soils, etc., that may affect future development of this site and which may not have been considered during the original zoning of the property?

Staff Comment: The 100-year floodplain skirts the northern edge of the property and some steep slopes are present at the southern edge of the property; however, these factors do not impact

development of the bulk of the site and were present during the consideration of the original zoning.

This criterion is not applicable.

e. Is the proposed rezoning necessary in order to provide land for a community related use which was not anticipated at the time of adoption of the City's Comprehensive Plan; or have the policies of the City changed to the extent that a rezoning is warranted?

Staff Comment: The proposal is not associated with a community related use. However, the Imagine Greeley Comprehensive Plan adopted subsequent to the existing zoning identifies the subject site for Suburban Neighborhood, which generally envisions residential densities more in line with the proposed zoning than those possible if the site was developed with multi-family dwellings as permitted by the current zoning. Furthermore, the Strategic Housing Plan was adopted in 2019 that encourages the facilitation of manufactured home communities.

The proposal complies with this criterion.

f. What is the potential impact of the proposed rezoning upon the immediate neighborhood and the City as a whole (including potential noise and environmental impacts, visual impacts, the provision of City services such as police, fire, water, sewer, street and pedestrian systems and parks and recreation facilities)?

Staff Comment: The proposal would generally present lesser impacts to the neighborhood than if the property were to be developed with multi-family dwellings, as allowed under the present zoning. The proposed mobile home community is consistent with the area, being adjacent to two existing mobile home communities. Noise generation is anticipated to be comparable to existing adjacent developments, and adverse visual impacts are not anticipated, especially with the proposed landscaping provided along the public thoroughfare adjacent to the site, N 35th Avenue (see Attachment C). No adverse environmental impacts are expected, and the ecological impacts are proposed to be mitigated per the biologist's recommendations (see Attachment G).

Impacts to the City services such as police, fire, water, sewer, street and pedestrian systems, and parks and recreation facilities are expected to be less intense than if the property were to be developed with multi-family dwellings as allowed by the current zoning. Adequate services currently exist to support the proposed development, and additional infrastructure will soon be constructed in the immediate vicinity. Upcoming capital projects include widening N 35th Avenue, the provision of non-potable lines, and the extension of the Broadview Acres Trail.

The proposal complies with this criterion.

g. Is there clear and convincing evidence that the proposed rezoning will be consistent with the policies and goals of the City's Comprehensive Plan and comply with applicable zoning overlay requirements?

Staff Comment: The proposal is consistent with the Imagine Greeley Comprehensive Plan and its sub-elements, specifically the Strategic Housing Plan regarding the facilitation of developing manufactured home communities. The only overlay on the subject property is related to the 100-year floodplain which does not impact development of the site as proposed. The proposal is supported by the following specific Imagine Greeley Comprehensive Plan goals and objectives:

Goal ED-3: Attract and maintain an employed, skilled, and adaptable workforce.

Objective ED-3.1 Diverse Workforce

Provide diverse economic opportunities, jobs, and housing and transportation options to ensure that Greeley is attractive to and inclusive of a diverse workforce.

Goal GC-1: Manage growth effectively.

Objective GC-1.2 Form of Growth

Encourage a compact urban form over sprawl or leap-frog development.

Objective GC-1.3 Adequate Public Facilities

Restrict development to the Adequate Public Facilities Area (APFA) except where the developer provides the equivalent level, or cash-in-lieu at a rate determined by the City, to install infrastructure that would otherwise be provided by the City.

Objective GC-1.6 Transitions to Parks and Open Lands

Ensure that new development abutting land that is intended to remain undeveloped, such as parks, open lands, environmentally sensitive areas, and agricultural land with conservation easements, provides for transitions in uses and intensity that mitigate impacts on these adjacent areas.

Goal GC-2: Promote a balanced mix and distribution of land uses.

Objective GC-2.2 Jobs/Housing Balance

Support zoning and development patterns that expand opportunities for people who live in Greeley to also work in Greeley (or vice versa).

Goal GC-3: Promote new development, infrastructure investments, and public improvements that enhance the character of the community.

Objective GC-3.4 Tree City

Reinforce the community's image as a "Tree City" by promoting the establishment and maintenance of tree-lined travel corridors throughout the community, taking into consideration water use, conservation strategies, and the natural environment.

Goal GC-6: Maintain and enhance the character and inter-connectivity of Greeley's neighborhoods.

Objective GC-6.2 Neighborhood Connectivity

Promote design standards and practices that improve connectivity for all modes between neighborhoods and adjacent neighborhoods, centers, corridors, and areas.

Goal HO-2: Encourage a broad diversity of housing options.

Objective HO-2.1 Diversity in New Development

Encourage a variety of housing types, sizes, styles, and price-points of housing units within new residential projects or subdivisions. Ensure that Greeley has neighborhoods and/or development sites available and attractive to its desired workforce, including higher-end housing for executives and other high-paid workers.

Goal NR-1: Protect, conserve, maintain, and improve the quality and quantity of water available to Greeley.

Objective NR-1.4 Non-Potable Water

Assertively promote the use of non-potable water for irrigation as a viable and efficient alternative to treated water.

Goal NR-3: Demonstrate stewardship of the environment.

Objective NR-3.7 Urban Forest

Protect, maintain, and expand the urban forest within and around the city.

Goal TM-1: Develop and maintain an accessible, integrated, safe, and efficient transportation system.

Objective TM-1.2 Pedestrian Movements

Ensure pedestrian movement and accessibility is considered in the design and construction of all public and private development projects. Ample and safe sidewalks and other pedestrian pathways within and between developments should be provided.

Goal TM-3: Ensure that land use and transportation decisions, strategies, and investments are coordinated and complementary.

Objective TM-3.2 Supportive Development

Ensure that all proposed development projects demonstrate the ability to accommodate pedestrian and bicycle travel.

The proposal complies with this criterion.

h. What is the potential impact of the proposed rezoning upon an approved zoning suitability plan for the property?

Staff Comment: The property can be successfully developed as shown on the Zoning Suitability Plan (see Attachment F).

The proposal complies with this criterion.

PUD Criteria

In reaching recommendations and decisions as to rezoning land to the PUD district, the Planning Commission and the City Council shall apply the following standards in addition to the standards and procedures of Section 1 8.30.050 which are outlined above applicable to the rezoning of land:

i. The area of a proposed PUD shall be of substantial size to permit its design and development as a cohesive unit fulfilling the stated purpose of these regulations and to establish the PUD as a meaningful part of the larger community. Each proposed PUD shall therefore be evaluated as to its adequacy in size with respect to both the nature and character of its internal design and to its specific location within the City. The minimum size of a PUD to be considered for establishment shall be two (2) acres.

Staff Comment: The proposal meets this requirement. The area of the proposed PUD is approximately 20.7 acres.

j. PUD proposal shall be found to be consistent with all applicable elements of the Land Use Chapter of the City's adopted Comprehensive Plan with respect to its proposed internal

design and use and its relationship to adjacent areas and the City as a whole before it may be zoned as a PUD.

Staff Comment: The Land Use Guidance Map identifies the site for Suburban Neighborhood and envisions densities typically between 2 and 5 dwelling units per acre with up to 10 units per acre in some locations. The proposed PUD nets approximately 6.9 units per acre, which is consistent with the Suburban Neighborhood classification and is less dense than could be expected with multi-family development permitted by the current R-H zoning.

F. PHYSICAL SITE CHARACTERISTICS

HAZARDS

Some steep slopes are located on the southern edge of the site that are proposed to be incorporated into the landscape buffer. An unhealthy cottonwood tree was removed from the site. No additional hazards are present impacting the proposed development.

WILDLIFE

The subject site is identified on the Areas of Ecological Significance Map as an area with potentially significant natural features that could be moderately impacted by development. The applicant provided a biologist's report (see Attachment G) in accordance with §18.48.050(b) of the Development Code that identified appropriate practices to mitigate the impact of development on the ecological value of the site especially regarding the black-tailed prairie dog colony and a raptor's nest on the site. The tree containing the inactive raptor's nest was unhealthy and removed outside of the nesting season in compliance with the recommendations and the prairie dog colony cannot be removed during the burrowing owl nesting season of May 15 to September 15, without professional confirmation concluding no burrowing owl activity is occurring.

FLOODPLAIN

A small portion of the property is located within the 100-year floodplain, according to the adopted Federal Emergency Management Administration (FEMA) flood data. The floodplain skirts the northern edge of the site, along C Street, and should not impact the proposal. The applicant has diligently consulted with the City of Greeley's Floodplain Administrator and has adequately addressed floodplain standards.

DRAINAGE AND EROSION

Increases in stormwater flows from development are proposed to be addressed by an on-site detention and water quality pond at the northeast corner of the property (see Attachment I). Erosion control devices are required and are reviewed by the City to ensure that best management practices are utilized as the project progresses (see Attachment H).

TRANSPORTATION

The applicant proposes automobile access to the site via C Street. The applicant continues to coordinate with Public Works Department as the City intends to widen N 35th Avenue adjacent to the proposal, including a roundabout at C Street in 2021. The site is directly served by a Greeley-Evans Transit bus stop along N 35th Avenue. Bicycle lanes are proposed to be included in the widening of N 35th Avenue. Bicycle traffic can also access the site from connections to the Broadview Acres Trail, which is proposed for extension adjacent to the site with construction beginning in Fall 2020. Pedestrian access to the site is proposed to be facilitated by sidewalk connections to C Street and two accesses to Broadview Acres Trail.

The applicant has diligently consulted with the Public Works Department and has adequately addressed transportation criteria (see Attachment K).

G. SERVICES

WATER

Adequate City of Greeley water infrastructure is present to serve the proposed development. The City intends to install non-potable infrastructure with the widening of N 35th Avenue in 2021 and has discussed opportunities with the applicant. The applicant would continue to work with the Water & Sewer Department to finalize the design for the Final PUD.

SEWER

Adequate City of Greeley sewer infrastructure is present to serve the proposed development. The applicant would continue to work with the Water & Sewer Department to finalize the design for the Final PUD.

EMERGENCY SERVICES

The property is served by Greeley Police and Fire Departments. Fire Station #3 is located along N 35th Avenue immediately southeast of the subject site. Sufficient access is provided for emergency vehicles to reach the proposed development.

PARKS, TRAILS, AND OPEN SPACES

The site is served by the Broadview Acres Trail, which currently terminates near the southeast corner of the site at N 35th Avenue. The site will be further served by the anticipated extension of the Broadview Acres Trail along the Greeley #3 Ditch, which is located immediately adjacent to the site and will be constructed beginning in Fall 2020. Additionally, the Larson Trail is approximately 500 yards west of the site. The nearest public park, Ramseier Farm Park, is located about one-half mile east of the subject site.

The lot was previously zoned and platted for residential development and is not subject to land dedication or cash-in-lieu for parkland.

The proposed development would also feature significant on-site open space and amenities, and residents may access amenities such as the recreation center and pool in the adjacent Stoneybrook development.

SCHOOLS

The subject site is within the boundaries of Greeley-Evans School District 6. The site is currently zoned R-H (Residential High Density), and the proposal is not anticipated to significantly alter the number of students when compared to developing under the current zoning. The applicant intends to finalize an agreement to pay cash-in-lieu towards school land.

H. NEIGHBORHOOD IMPACTS

VISUAL

The proposed use is consistent with the area and adverse visual impacts are not anticipated by the proposed development. The proposal includes significant landscaping on the perimeter of the site, providing an attractive environment along N 35th Avenue, which is the only public thoroughfare adjacent to the subject site.

NOISE

The proposed use is not anticipated to generate excessive noise. Noise created by the proposed use will be regulated by the Municipal Code enforceable by the Greeley Police Department.

I. PUBLIC NOTICE AND COMMENT

Neighborhood notices for this hearing were mailed to surrounding landowners on June 26 and notice was provided in the newspaper per Development Code standards. Signs were posted on the site on June 30. The applicant notified the mineral owner of this hearing in accordance with Development Code standards.

No comments were received prior to finalizing this report.

J. PLANNING COMMISSION RECOMMENDED MOTIONS

The proposal encompasses two agenda items and requires two separate motions. The first motion is related to the rezoning, and the second motion is related to the Preliminary PUD.

Rezone:

Based on the application received and the preceding analysis, the Planning Commission finds that the proposed Stoneybrook Subdivision Filing No. 1, Block 1, Lot 4 Rezone meets Development Code Section 18.30.050(c)(3) a, b, e, f, h and g and therefore recommends approval to City Council.

Preliminary PUD:

Based on the application received and the preceding analysis, the Planning Commission finds that the proposed Stoneybrook Subdivision Filing No. 1, Block 1, Lot 4 Preliminary PUD meets Development Code Section 18.32.040(b) and therefore recommends approval to City Council.

ATTACHMENTS

- Attachment A – Vicinity Map
- Attachment B – Project Narrative
- Attachment C – Preliminary PUD
- Attachment D – Property Boundary Map
- Attachment E – Site Analysis Map
- Attachment F – Zoning Suitability Map
- Attachment G – Biologist’s Report
- Attachment H – Grading, Erosion, and Sediment Control Plans
- Attachment I – Preliminary Drainage Report
- Attachment J – Stormwater Management Plan
- Attachment K – Traffic Impact Study
- Attachment L – N 35th Ave Widening Plans

VICINITY MAP

Attachment A





July 7, 2020

City of Greeley
 Department of Community Development
 Planning Services Division
 Attn: Mike Garrott, Planning Manager
 1100 10th Street -2nd Floor
 Greeley, CO 80631

Re: Stoneybrook Lot 4 Manufactured Home Community Preliminary PUD

Project Narrative:

Stoneybrook 234, LLC is submitting this Preliminary Planned Unit Development (PUD) application for Lot 4, Block 1 of the Stoneybrook Filing No. 1 subdivision. This 20.657 acre parcel of land is located in the City of Greeley and the applicant proposes to rezone the property from R-H to a PUD in order to provide an affordable housing alternative in response to the residential market demands of the greater Greeley community. Lot 4, Block 1, of Stoneybrook Subdivision Filing No. 1 is situated in the Northeast Quarter of Section 2, Township 5 North, Range 66 West of the 6th P.M., City of Greeley, County of Weld, State of Colorado.

The applicant proposes to develop a manufactured home community on the subject property. The existing Stoneybrook manufactured home community lies west and is directly adjacent to the property. Friendly Village, another existing manufactured home community is to the east, just across North 35th Avenue. Greeley #3 Ditch lies to the south and will be the location of the City's future Broadview Acres regional multi-modal trail. The northern edge of the subject property is bounded by C Street. C Street is a private street which currently provides access to the existing Stoneybrook community. Just north of C Street lies a City of Greeley detention pond as well as undeveloped land.

The applicant is proposing to develop 142 manufactured home sites, leasing land as required for each of the 142 manufactured home sites. Manufactured homes sites are in high demand in the greater Greeley area and the proposed development will assist the City of Greeley in meeting the demand for this important affordable housing option. The subject property and its envisioned design blends well with the existing contextual built environment and fit the character of proximal neighborhoods and their associated land uses. Home sites have been designed to maximize their flexibility in accommodating the varying dimensions and architectural elevations of manufactured homes. Flexibility will allow residents multiple floor plan options and architectural styles to accommodate their specific needs. Flexibility also allows the development to accommodate the needs of multiple income levels, household sizes, and building types. The properties direct proximity to the Broadview Acres Regional Trail provides residents access to recreational opportunities and provides bike and pedestrian connections to schools, employment, and other services. Close proximity of the trail will provide enhanced mobility options for residents. On the east side of the project, a connection will be provided to GET's Route 3 bus stop located along North 35th Avenue. Access to the transit amenity and will be important for community residents as it provides convenient connections to the Rodarte Transfer Center, large employers, the Greeley Mall Transit Center, and transfers to GET's Route 1. At the southwest corner of the property a new pedestrian / trail connection will be provided to access the planned Broadview Acres Trail and at the southeastern corner of the property an additional trail connection will be provided to access the Broadview Acres Trail.

The subject property falls in elevation from the south to the north east (*from the Greeley Ditch #3 towards the intersection of C Street and North 35th Avenue*). Mature existing trees line the properties frontage along North 35th Avenue. Many of these trees are non-native species that will be removed during construction and replaced with climate-appropriate species. A large number of mature, specimen quality trees have been removed by the City of Greeley and have been relocated to City of Greeley owned facilities. Large cottonwood trees also exist along the Greeley Ditch. A few of these trees are in poor health and will need to be removed during construction. The remainder of the site is relatively free of mature vegetation and is covered by native / non-native grasses. The southern street frontage, immediately adjacent to C Street was improved as part of the development of the original Stoneybrook community. In this area grass turf, streetlights, and a small attached sidewalk exists. Many of these elements will be replaced as part of this development.

The proposed design of the subject property will match historic storm water flows by conveying water to the north east corner of the development (south west corner of North 35th Avenue and C Street) where an extended detention basin will be constructed and will provide storage for water quality capture volume, excess urban runoff volume and detention volume for the 100-year storm event. The pond will outlet to the existing 60" x 84" reinforced concrete box culvert located on the east side of North 35th Avenue. Vehicular access to the site will avoid impacting North 35th Avenue by providing access at two locations along C Street where the existing median breaks. Community monument signs will be placed at each of these intersections. A community map for emergency service providers and visiting guests will be also located at both entrances to the community along C Street.

A large community park for neighborhood residents including a playground, tables and grills, a picnic shelter, extensive landscaping, grass turf, and additional soft scape is proposed just west of the main entrance. The park will be oriented to provide views of the water feature north of C Street and will serve as the community's front door for residents and visitors alike. A long linear space will move from west to east along the south side of C Street, terminating at the new community park. This linear space will create a visually attractive buffer that serves pedestrians and cyclists with a multi-modal path that connects to the existing sidewalk of the neighboring Stoneybrook community as well as North 35th Avenue. A community pocket park will also be located interior to the site and will include gathering sites and horseshoe pits. Two smaller pocket parks are located at the south west and south east corners of the property and will provide pedestrian and bicycle access to the forthcoming Broadview Acres Regional Trail. The pocket park located at the south east corner of the property will provide a bike maintenance station as well as a small play park for children. A well landscaped arterial / collector buffer will also run the length of the property's east side along North 35th Avenue. The current design for this buffer takes into account the City of Greeley's future expansion of North 35th Avenue. A 15-foot strip of land along the eastern edge of the property is proposed to be dedicated to the City of Greeley for its associated ROW needs for future 35th Avenue roadway expansion.

The potable water distribution system and sanitary sewer collection system will be designed and constructed in accordance with City of Greeley standards and will be provided by Greeley Water and Sewer. Electrical service will be provided by Xcel Energy and Natural Gas Services will be provided by Atmos Energy. Telephone and telecommunication services will be provided by CenturyLink and Comcast. All necessary utilities required to serve the subject property currently exist along the property frontage. If you have any questions regarding the proposed plan, please feel free to call me at 720-225-4656.

Sincerely,

David Evans and Associates, Inc.



Matthew J. Buster, P.E.

STONEBROOK SUBDIVISION FILING NO. 1 BLOCK 1 LOT 4 PRELIMINARY PUD

A PORTION OF THE NORTHEAST QUARTER (NE1/4)
OF SECTION 2, TOWNSHIP 5 NORTH, RANGE 66 WEST OF THE 6TH P.M.,
CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO.

GENERAL NOTES

- ALL REFERENCES TO CITY OF GREELEY DEVELOPMENT CODE SHALL REFERENCE THE CODE DATED AUGUST 22, 2019.
- STREET MAINTENANCE:** IT IS MUTUALLY UNDERSTOOD AND AGREED THAT THE PRIVATE ROADWAYS SHOWN ON THIS PLAN WILL BE CONSTRUCTED IN ACCORDANCE WITH THE APPROVED CONSTRUCTION PLANS AND THE PRIVATE ROADWAY STANDARDS SHOWN HEREIN. THE OWNER(S), DEVELOPER(S) AND/OR SUBDIVIDERS, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, SHALL BE RESPONSIBLE FOR STREET MAINTENANCE UNTIL SUCH TIME AS THE HOA ACCEPTS THE RESPONSIBILITY FOR MAINTENANCE.
- DRIVES, PARKING AREAS AND UTILITY EASEMENT MAINTENANCE:** THE OWNERS OF THIS PROPERTY, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, THE HOMEOWNERS' ASSOCIATION OR ENTITY OTHER THAN THE CITY ARE RESPONSIBLE FOR MAINTENANCE AND UPKEEP OF ANY AND ALL DRIVES, PARKING AREAS AND EASEMENTS (CROSS-ACCESS EASEMENTS, DRAINAGE EASEMENTS, ETC.)
- SIDEWALKS:** ALL PROPOSED SIDEWALKS CONTAINED HEREIN SHALL BE ACCESSIBLE TO THE PUBLIC.
- DRAINAGE MAINTENANCE:** THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL DRAINAGE FACILITIES INSTALLED PURSUANT TO THE DEVELOPMENT AGREEMENT, REQUIREMENTS INCLUDE, BUT ARE NOT LIMITED TO, MAINTAINING THE SPECIFIED STORM WATER DETENTION/RETENTION VOLUMES, MAINTAINING OUTLET STRUCTURES, FLOW RESTRICTION DEVICES AND FACILITIES NEEDED TO CONVEY FLOW TO SAID BASIN. THE CITY SHALL HAVE THE RIGHT TO ENTER PROPERTIES TO INSPECT SAID FACILITIES AT ANY TIME IF THESE FACILITIES ARE NOT PROPERLY MAINTAINED. THE CITY SHALL NOTIFY THE PROPERTY OWNER IN WRITING AND SHALL INFORM THE OWNER THAT CORRECTIVE ACTION BY THE OWNER SHALL BE REQUIRED WITHIN TEN (10) WORKING DAYS OF RECEIPT OF NOTIFICATION FROM THE CITY, UNLESS AN EMERGENCY EXISTS. IN WHICH CASE CORRECTIVE ACTION SHALL BE TAKEN IMMEDIATELY UPON RECEIPT OF NOTIFICATION BY THE CITY. IF THE OWNER FAILS TO TAKE CORRECTIVE ACTION WITHIN TEN (10) WORKING DAYS, THE CITY MAY PROVIDE THE NECESSARY MAINTENANCE AND ASSESS THE MAINTENANCE COST TO THE OWNER OF THE PROPERTY.
- DRAINAGE LIABILITY:** THE CITY DOES NOT ASSUME ANY LIABILITY FOR DRAINAGE FACILITIES IMPROPERLY DESIGNED OR CONSTRUCTED. THE CITY REVIEWS DRAINAGE PLANS BUT CANNOT, ON BEHALF OF ANY APPLICANT, OWNER OR DEVELOPER, GUARANTEE THAT FINAL DRAINAGE DESIGN REVIEW AND APPROVAL BY THE CITY WILL RELIEVE SAID APPLICANT, OWNER, OR DEVELOPER, THEIR SUCCESSORS AND ASSIGNS, FROM LIABILITY DUE TO IMPROPER DESIGN. CITY APPROVAL OF THIS PUD DOES NOT IMPLY APPROVAL OF THE DRAINAGE DESIGN WITHIN THE PUD.
- LANDSCAPE MAINTENANCE:** THE OWNERS OF THIS PROPERTY, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, THE ADJACENT PROPERTY OWNER(S), HOMEOWNERS ASSOCIATION OR ENTITY OTHER THAN THE CITY ARE RESPONSIBLE FOR MAINTENANCE AND UPKEEP OF PERMETER LANDSCAPING, LANDSCAPED AREAS AND SIDEWALKS BETWEEN THE PROPERTY LINE AND ANY PAVED ROADWAYS. THE OWNERS OF THIS PROPERTY, THEIR SUCCESSORS AND/OR ASSIGNS, OR THE HOMEOWNERS' ASSOCIATION, AGREE TO THE RESPONSIBILITY OF MAINTAINING ALL OTHER OPEN SPACE AREAS ASSOCIATED WITH THIS DEVELOPMENT.
- SIGHT DISTANCE:** THE CLEAR VISION ZONE OF A CORNER LOT, AS DETERMINED BY SECTION 18.44.090(B)(1) OF THE DEVELOPMENT CODE, SHALL BE FREE FROM SHRUBS, GROUND COVERS, BERMS, FENCES, SIGNS, STRUCTURES, PARKED VEHICLES OR OTHER MATERIALS OR ITEMS GREATER THAN THIRTY-SIX (36) INCHES IN HEIGHT FROM THE STREET LEVEL.
- PUBLIC SAFETY ACCESS:** WHETHER FOR EMERGENCY OR NON-EMERGENCY PURPOSES, IS GRANTED OVER AND ACROSS ALL ACCESSWAYS FOR POLICE, FIRE AND EMERGENCY VEHICLES. THE OWNERS OF THIS PROPERTY, THEIR SUCCESSORS AND/OR ASSIGNS, OR THE HOMEOWNERS' ASSOCIATION WILL BE RESPONSIBLE FOR ENSURING THAT ALL PRIVATE ACCESSWAYS IN THIS PROPERTY ARE PASSABLE, AT ALL TIMES, FOR POLICE, FIRE AND EMERGENCY VEHICLES.
- DRAINAGE MASTER PLAN:** THE POLICY OF THE CITY REQUIRES THAT ALL NEW DEVELOPMENT AND REDEVELOPMENT SHALL PARTICIPATE IN THE REQUIRED DRAINAGE IMPROVEMENTS AS SET FORTH BELOW.
 - DESIGN AND CONSTRUCT THE LOCAL DRAINAGE SYSTEM AS DEFINED BY THE FINAL DRAINAGE REPORT, FINAL DRAINAGE PLAN AND THE STORM WATER MANAGEMENT PLAN.
 - DESIGN AND CONSTRUCT THE CONNECTION OF THE LOCAL DRAINAGE SYSTEM TO A DRAINAGE WAY OF ESTABLISHED CONVEYANCE CAPACITY, SUCH AS A MASTER PLANNED OUTFALL STORM SEWER OR MASTER PLANNED MAJOR DRAINAGE WAY. THE CITY WILL REQUIRE THAT THE CONNECTION TO THE MINOR AND MAJOR SYSTEMS PROVIDE CAPACITY TO CONVEY ONLY THOSE FLOWS (INCLUDING OFFSITE FLOWS) LEAVING THE PROPERTY.
- STREET LIGHTING:** ALL HOMESITES WITHIN THIS PUD ARE SUBJECT TO AND BOUND BY TARIFFS WHICH ARE NOW AND MAY IN THE FUTURE BE FILED WITH THE PUBLIC UTILITIES COMMISSION OF THE STATE OF COLORADO RELATING TO STREET LIGHTING IN THIS PROPERTY. TOGETHER WITH RATES, RULES AND REGULATIONS THEREIN PROVIDED AND ARE SUBJECT TO ALL FUTURE AMENDMENTS AND CHANGES THERETO. THE OWNERS OR THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, SHALL PAY, AS BILLED, A PORTION OF THE COST OF PUBLIC STREET LIGHTING WITHIN THE PROPERTY IN ACCORDANCE TO APPLICABLE RATES, RULES AND REGULATIONS, ON FILE WITH THE PUBLIC UTILITIES COMMISSION INCLUDING FUTURE AMENDMENTS AND CHANGES THERETO.
- WATER OR SEWER MAIN EASEMENTS:** THERE SHALL BE NO PERMANENT STRUCTURES, FENCES, LANDSCAPING (PLANTING OR BERMS) GREATER THAN THREE (3) FEET TALL MATURE GROWTH, DETENTION PONDS, OR OTHER ENCUMBRANCES LOCATED IN CITY OF GREELEY WATER OR SEWER MAIN EASEMENTS.
- WATER OR SEWER MAINS IN PRIVATE ROADS OR EASEMENTS:** THE OWNERS OF THIS PROPERTY, THEIR SUCCESSORS AND/OR ASSIGNS, OR THE HOMEOWNERS' ASSOCIATION SHALL BE RESPONSIBLE FOR THE REPAIR OF PAVEMENT, PAVING OR OTHER IMPROVED SURFACES DAMAGED DURING THE REPAIR OF PUBLIC WATER OR SEWER MAINS LOCATED IN PRIVATE ROADS OR EASEMENTS. THE CITY OF GREELEY WATER AND SEWER DEPARTMENT WILL SAFELY BACKFILL THE TRENCH TO THE SURFACE, BUT WILL NOT REBUILD ANY SURFACE IMPROVEMENTS.

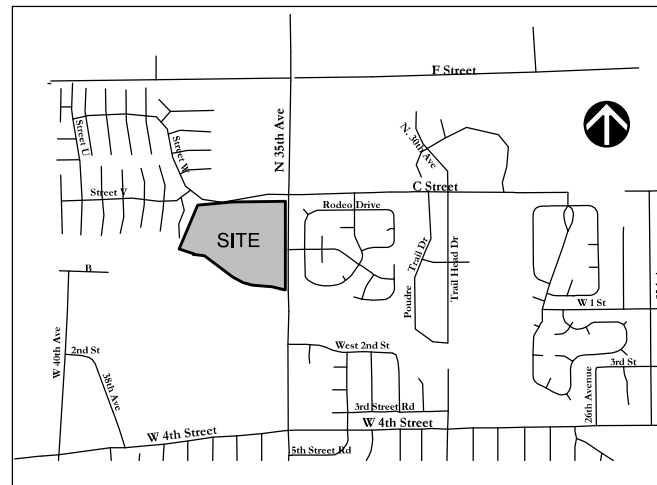
RAW WATER DEDICATION

GROSS LAND AREA OF LOT 4 = 20,662 ACRES
AREA TO BE DEDICATED TO CITY OF GREELEY AS PUBLIC RIGHT-OF-WAY = 0,381 ACRES
GROSS AREA OF LOT 4 AFTER RIGHT-OF-WAY DEDICATION = 20,281 ACRES
NECESSARY RAW WATER DEDICATION = 20,281 ACRES x 3 ACRE-FOOT PER ACRE = 60.84 ACRE-FOOT

TWO-THIRDS (2/3) OF THE TOTAL RAW WATER DEDICATION (40.56 ACRE-FOOT) WILL BE PROVIDED BY TRANSFER OF EXISTING GREELEY IRRIGATION COMPANY WATER SHARES HELD BY OWNER. ONE SHARE OF GREELEY IRRIGATION COMPANY WATER, BY DECREE, YIELDS 10.31 ACRE-FOOT. SHARES OF GREELEY IRRIGATION COMPANY WATER TO BE TRANSFERRED FROM OWNER TO CITY OF GREELEY = 40.56 ACRE-FOOT / 10.31 = 3.93 SHARES = 4 SHARES.

ONE-THIRD (1/3) OF THE TOTAL RAW WATER DEDICATION (20.28 ACRE-FOOT) WILL BE SATISFIED BY FEE-IN-LIEU PAYMENT AT THE TIME OF OBTAINING A BUILDING PERMIT FOR EACH OF THE 142 UNITS WITHIN THE PROPOSED COMMUNITY AT THE CITY'S PREVAILING FEE-IN-LIEU RATE. FEE-IN-LIEU PAYMENTS PER UNIT (BASED UPON THE CITY OF GREELEY'S CURRENT FEE-IN-LIEU OF DEDICATION RATE OF \$34,000 / ACRE-FOOT) TO BE PAID AT TIME OF BUILDING PERMIT EQUATES TO:

20.28 ACRE-FOOT x \$34,000/ACRE-FOOT = \$689,520 / 142 UNITS = \$4,855.77 PER UNIT.



VICINITY MAP
SCALE: 1"=1000'

SHEET INDEX

SHEET NO.	SHEET TITLE
1	COVER SHEET
2	MASTER PLAN
3	DESIGN GUIDELINES - NOTES
4	DESIGN GUIDELINES - STANDARDS
5	DESIGN GUIDELINES - ROADWAY DESIGN
6	OVERALL SITE PLAN
7	PRELIMINARY SITE PLAN 01
8	PRELIMINARY SITE PLAN 02
9	PRELIMINARY OVERALL UTILITY PLAN
10	PRELIMINARY UTILITY PLAN 01
11	PRELIMINARY UTILITY PLAN 02
12	PRELIMINARY DRAINAGE & GRADING PLAN
13	PRELIMINARY LANDSCAPE PLAN
14	PRELIMINARY LANDSCAPE AMENITY DETAILS 01
15	PRELIMINARY LANDSCAPE AMENITY DETAILS 02
16	PRELIMINARY SITE & LANDSCAPE DETAILS 01
17	PRELIMINARY SITE & LANDSCAPE DETAILS 02
18	CONCEPTUAL ARCHITECTURAL ELEVATIONS
19	ECOLOGICAL ASSESMENT

PROJECT TEAM

OWNER:
STONEBROOK 234, LLC
15400 W. 64TH AVE, UNIT E9-123
ARVADA, CO 80007
CONTACT: ROBERT L. ECK II
PHONE: (303) 961-0313

LAND PLANNING & CIVIL ENGINEER:
DAVID EVANS & ASSOCIATES, INC.
1600 BROADWAY, SUITE 800
DENVER, CO 80202
CONTACT: MATT BUSTER, PE
PHONE: (720) 225-4656



KING SURVEYORS
650 E. Garden Drive
Windsor, Colorado 80550
phone: (970) 686-5011
email: contact@KingSurveyors.com

DAVID EVANS & ASSOCIATES, INC.
1600 Broadway Suite 800
Denver, Colorado 80202
Tel: 720-946-0969
Fax: 720-946-0973

Engineers • Surveyors • Planners

PRELIMINARY PUD
COVER SHEET

SHEET 1
1 OF 19
DATE: **May 11, 2020**
DRAWN BY: JCB
CHECKED BY: **MABU**
PROJECT NO.: **LNDASTBR-0001**

LEGAL DESCRIPTION

LOT 4, BLOCK 1, STONEYBROOK SUBDIVISION FILING NO. 1, CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO AS RECORDED IN THE OFFICE OF THE WELD COUNTY CLERK AND RECORDER AT RECEPTION NUMBER 2710177 DATED JULY 7, 1999.

SAID DESCRIBED PARCEL CONTAINS 20,662 ACRES, MORE OR LESS (±).

BASIS OF BEARINGS AND LINEAL UNIT DEFINITION

CONSIDERING THE EAST LINE OF THE SOUTH HALF OF THE SOUTHEAST QUARTER OF SECTION 35, T.6N., R.66W., TO BEAR SOUTH 00°09'11" WEST AND MONUMENTED AS SHOWN ON THE STONEYBROOK SUBDIVISION FILING NO. 1 PLAT, BEING A GRID BEARING OF THE COLORADO STATE PLANE COORDINATE SYSTEM, NORTH ZONE, NORTH AMERICAN DATUM 1983/2011, A DISTANCE OF 1337.23 FEET WITH ALL OTHER BEARINGS CONTAINED HEREIN RELATIVE THERETO.

THE LINEAL DIMENSIONS AS CONTAINED HEREIN ARE BASED UPON THE "U.S. SURVEY FOOT."

TITLE COMMITMENT NOTES

TITLE COMMITMENT NUMBER ABD25158080-4, DATED SEPTEMBER 6, 2018 AT 5:00 P.M., AS PREPARED BY LAND TITLE GUARANTEE COMPANY WAS RELIED UPON FOR THE DEPICTION OF EXISTING EASEMENTS AND PROPERTY ENCUMBRANCES AS SHOWN HEREON.

P.U.D. JUSTIFICATION

THE STONEYBROOK LOT 4 PLANNED UNIT DEVELOPMENT (PUD) HAS BEEN DEVELOPED AND DESIGNED TO CREATE A NEW MANUFACTURED HOME COMMUNITY WITHIN THE CITY OF GREELEY THAT IS INVITING, VIABLE, AFFORDABLE, ATTAINABLE, AND FLEXIBLE. THIS PUD IS IN HARMONY WITH EXISTING NEIGHBORING MANUFACTURED HOME COMMUNITIES TO THE EAST AND WEST. THE PUD ALLOWS FOR CREATIVE AND INNOVATIVE DESIGN SOLUTIONS THAT WILL RESULT IN A VIBRANT, DIVERSE, AND ATTAINABLE NEIGHBORHOOD FOR CURRENT AND FUTURE CITY OF GREELEY RESIDENTS.

THIS PUD INCLUDES A PLANNING AREA COMPOSED OF MANUFACTURED HOME SITES AND THEIR ASSOCIATED PARKING, DECKS, PATIOS, LAWNS, AND LANDSCAPING, HOMESITES AND USEABLE OPEN SPACE AREAS ARE PROPOSED WITH THIS PUD. USEABLE OPEN SPACE WILL INCLUDE A FULLY-PROGRAMMED COMMUNITY PARK, A COMMUNITY POCKET PARK, AND ENHANCED CONNECTIONS TO THE ADJACENT REGIONAL TRAIL SYSTEM. PROPOSED MANUFACTURED HOMESITES HAVE BEEN DESIGNED TO MAXIMIZE THEIR FLEXIBILITY, RESULTING IN THE DEVELOPMENT'S ABILITY TO ACCOMMODATE DIVERSE MANUFACTURED HOME CONFIGURATIONS, DIMENSIONS, AND ARCHITECTURAL ELEVATIONS. FLEXIBLE BUT WELL REGULATED HOUSING TYPES AND FORMS WILL CREATE A VISUALLY INTRIGUING NEIGHBORHOOD BOTH INTERNAL AND EXTERNAL TO THE PROPERTY. THE PLACEMENT OF MANUFACTURED HOMES ON LEASED-LAND AREAS WILL BE PURPOSEFUL AND WELL REGULATED PER THE PUD'S DESIGN STANDARDS. THE PUD STANDARDS HAVE BEEN DESIGNED TO PROVIDE FRONT, REAR AND SIDE YARD SETBACKS THAT WILL CREATE AMPLE GREEN SPACE AROUND STRUCTURES AND AREAS FOR ACCESSORY DECKS, PATIOS, AND LANDSCAPING. TWO OFF-STREET PARKING SPACES IN EITHER TANDUM OR SIDE-BY-SIDE CONFIGURATIONS WILL BE PROVIDED FOR EACH HOMESITE. PUD STANDARDS WILL BE APPLICABLE TO ALL HOMESITES, ENSURING A WELL-ORGANIZED, PURPOSEFUL, AND VISUALLY PLEASING COMMUNITY.

THE DEVELOPMENT WILL BE CONNECTED TO GREELEY'S FUTURE PLANNED BROADVIEW ACRES TRAIL LOCATED ALONG THE SOUTHERN BOUNDARY OF THE SITE. THIS REGIONAL MULTI-MODAL TRAIL AND GREENWAY WILL PROVIDE BICYCLE AND PEDESTRIAN ACCESS TO A RANGE OF RECREATIONAL OPPORTUNITIES AS WELL AS ACCESS TO SCHOOLS, EMPLOYMENT, AND OTHER SERVICES. THE DEVELOPMENT WILL PROVIDE TWO ACCESS POINTS TO THE TRAIL, ONE AT THE SOUTHWEST CORNER OF THE PROPERTY AND ONE AT THE SOUTHEAST CORNER OF THE PROPERTY. TRAIL CONNECTIONS WILL BE LINKED TO THE DEVELOPMENT'S INTERIOR SIDEWALK NETWORK TO PROVIDE SEAMLESS CONNECTIONS. THE INTERIOR PEDESTRIAN NETWORK WILL PROVIDE SIDEWALKS ALONG BOTH SIDES OF ALL STREETS, CONTRIBUTING TO A COMPLETE SYSTEM OF CONNECTIVITY THAT MEETS THE NEEDS OF NEIGHBORHOOD RESIDENTS. ALL VEHICULAR ACCESS TO THE PROPERTY WILL BE PROVIDED BY TWO DIRECT CONNECTIONS TO EXISTING C STREET. PROPOSED STREETS WITHIN THE COMMUNITY WILL BE PRIVATELY OWNED AND MAINTAINED.

THE PEDESTRIAN SYSTEM WILL PROVIDE ACCESS TO A NUMBER OF INTERNAL GREENSPACES. A COMMUNITY PARK IS LOCATED AT THE INTERSECTION OF C STREET AND THE EASTERN ACCESS. THE COMMUNITY PARK WILL INCLUDE A WAY-FINDING/COMMUNITY SIGN, PLANTING BEDS, DIVERSE TREE SPECIES, A SHELTER, A PLAYGROUND, AND GRASS LAWNS. THE PLAN INCORPORATES LANDSCAPE BUFFER STANDARDS INTENDED TO ELEVATE THE INTERNAL AND EXTERNAL VISUAL AESTHETIC OF THE COMMUNITY. THESE BUFFERS ARE ADJACENT TO NORTH 35TH AVENUE AND THE BROADVIEW ACRES TRAIL. THE BUFFER ALONG NORTH 35TH AVENUE STREET FRONTAGE WILL INCORPORATE ADDITIONAL TREE PLANTINGS, AND TURF WITHIN AN ENHANCED GREENWAY TO BUFFER THE COMMUNITY FROM THE PROPOSED EXPANSION OF NORTH 35TH AVENUE. IN ADDITION TO THIS BUFFER AN ADDITIONAL 15' WIDE LAND AREA HAS BEEN RESERVED AND IS PROPOSED TO BE DEDICATED TO THE CITY OF GREELEY FOR ADDITIONAL RIGHT-OF-WAY REQUIRED FOR THE FUTURE EXPANSION OF NORTH 35TH AVENUE. LANDSCAPING WILL BE PLACED WITHIN BUFFER AREA 3 ADJACENT TO THE GREELEY IRRIGATION COMPANY NO. 3 CANAL PROPERTY AND THE BROADVIEW ACRES TRAIL IN ACCORDANCE WITH CITY OF GREELEY STANDARDS.

THE ABOVE COMBINED PUD ELEMENTS WILL WORK IN CONCERT TO CREATE AN ATTAINABLE, ACCESSIBLE, AND MARKET RESPONSIVE RESIDENTIAL COMMUNITY. STONEYBROOK LOT 4 WILL PROVIDE A WELL-DESIGNED AND ATTAINABLE HOUSING CHOICE THAT IS AN ASSET FOR BOTH THE CITY OF GREELEY AND ADJACENT NEIGHBORHOODS.

CONSTRUCTION MUST BE IN ACCORDANCE WITH APPLICABLE CITY OF GREELEY CONSTRUCTION STANDARDS, EXCEPT AS THOSE DEVIATIONS SHOWN HEREIN. THE CITY'S ACCEPTANCE SHALL NOT RELIEVE THE DESIGN ENGINEER'S RESPONSIBILITY FOR ERRORS, OMISSIONS, OR DESIGN DEFICIENCIES FOR WHICH THE CITY IS HELD HARMLESS.

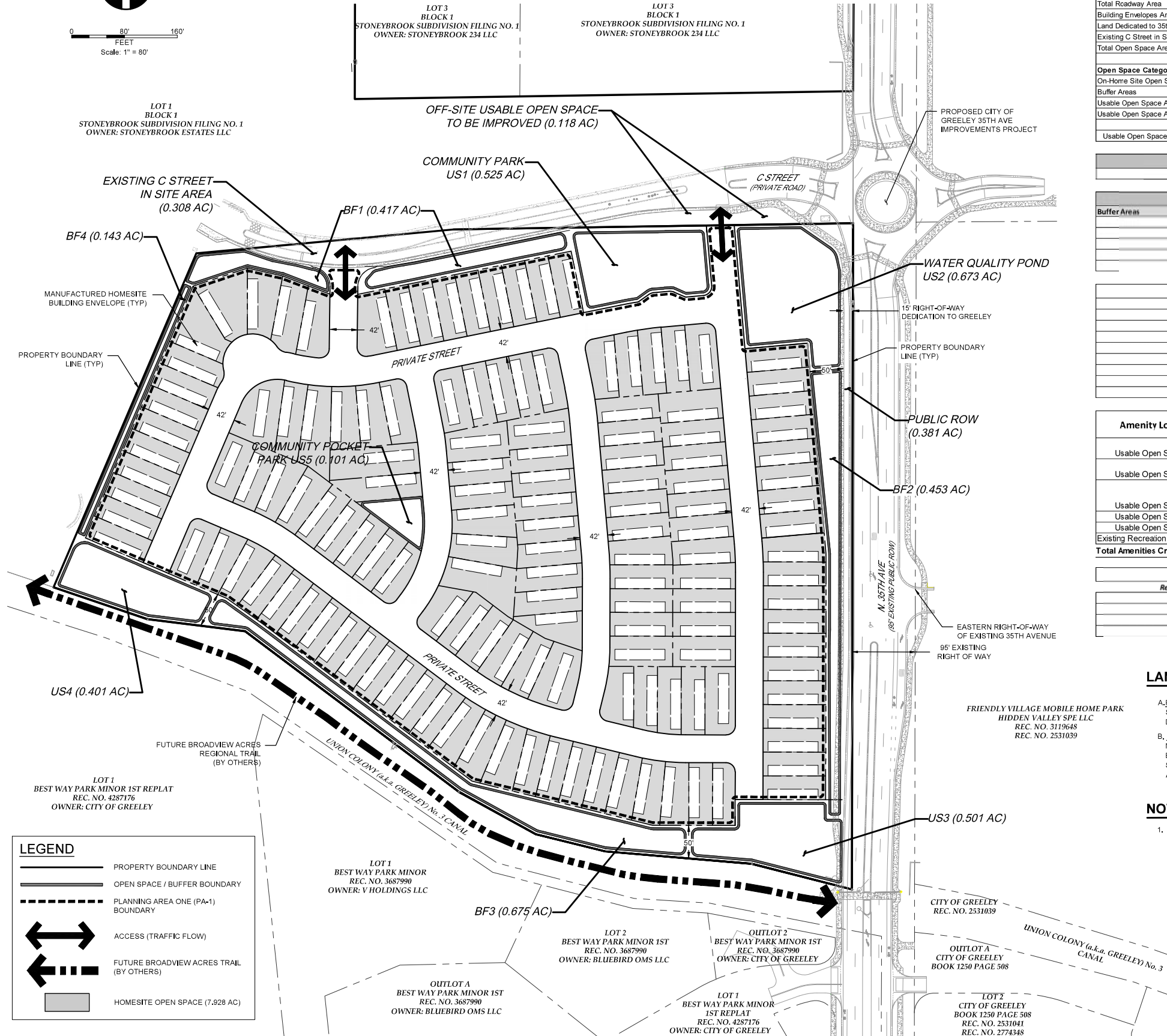
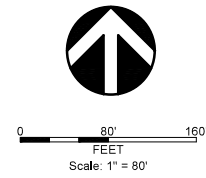
ACCEPTED BY: _____ DATE _____
COMMUNITY DEVELOPMENT DIRECTOR

ACCEPTED BY: _____ DATE _____
FIRE MARSHALL

ACCEPTED BY: _____ DATE _____
ENGINEERING DEVELOPMENT REVIEW/CIVIL INSPECTIONS MANAGER

STONEYBROOK SUBDIVISION FILING NO. 1 BLOCK 1 LOT 4 PRELIMINARY PUD

A PORTION OF THE NORTHEAST QUARTER (NE1/4)
OF SECTION 2, TOWNSHIP 5 NORTH, RANGE 66 WEST OF THE 6TH P.M.,
CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO.



Development Land Areas and Associated Requirements		
Development Summary	Area (Acres)	Required (Acres)
Total Site Area	20.662 AC	N/A
Total Roadway Area	3.880 AC	N/A
Building Envelopes Area	3.966 AC	N/A
Land Dedicated to 35th Avenue Widening	0.381 AC	N/A
Existing C Street in Site Area	0.308 AC	N/A
Total Open Space Area (Onsite) Provided	11.817 AC	5.166 AC (25% of Total Site Area)
Open Space Categories		
	Provided (acres)	Required (Acres)
On-Home Site Open Space	7.928 AC	N/A
Buffer Areas	1.688 AC	N/A
Usable Open Space Areas (Onsite)	2.201 AC	2.583 AC (50% of Required Total Open Space)
Usable Open Space Areas (Offsite)	0.120 AC	
Total Open Space Area Provided (Onsite & Offsite)	11.937 AC	5.166 AC (25% of Total Site Area)
Usable Open Space per Amenities Credit (12.5 amenities x 92' SF each) = 11,512.5 SF	0.264 AC	N/A

Home-Site Open Space	
Total Home Site Open Space	7.928 AC

Buffer Areas	
Buffer Areas	Area (Acres)
Buffer Area 1	0.417 AC
Buffer Area 2	0.453 AC
Buffer Area 3	0.076 AC
Buffer Area 4	0.143 AC
Total Buffer Open Space	1.089 AC

Usable Open Space	
Usable Open Space 1 (US1)	0.525 AC
Usable Open Space 2 (US2)	0.673 AC
Usable Open Space 3 (US3)	0.501 AC
Usable Open Space 4 (US4)	0.401 AC
Usable Open Space 5 (US5)	0.101 AC
Usable Open Space Areas (Onsite)	2.201 AC
Usable Open Space Areas (Offsite)	0.120 AC
Usable Open Space (Without Amenities Credit)	2.321 AC

Amenity Location	Amenities	Credit	Amenity Credit (921 SF/Amenity)
Usable Open Space 1 (US1)	• Playground • Shelter • Grills & Table	3	0.63 AC (2763 SF)
Usable Open Space 2 (US2)	• Small-sided soccer field with permanent goals	1	0.21 AC (921 SF)
Usable Open Space 3 (US3)	• Bicycle Maintenance Station • Table & Small Playground • Trail connection to Broadacres Trail	2.25	0.48 AC (2072.25 SF)
Usable Open Space 4 (US4)	• Trail connection to Broadacres Trail	0.25	0.05 AC (230.25 SF)
Usable Open Space 5 (US5)	• Council seating • Horseshoe pits	2	0.42 AC (1842 SF)
Existing Recreation Center & Pool	• Rec Center • Pool	4	0.84 AC (3,684 SF)
Total Amenities Credit Provided		12.5	0.264 AC (11,512.5 SF)

Usable Open Space Summary	
Required Usable Open Space (50% of Total Required Open Space)	2.583 AC
Subtotal of Usable Open Space (On-site)	2.201 AC
Subtotal of Usable Open Space (Off-site)	0.120 AC
Total Amenities Credit Provided	0.264 AC
Provided Usable Open Space (With Amenities Credit)	2.585 AC

- TOTAL OPEN SPACE IS THE SUM OF ON HOME SITE OPEN SPACE, BUFFER AREAS, AND USEABLE OPEN SPACE.
- BUFFER AREAS ARE INCLUDED WITHIN THE OPEN SPACE AREAS SHOWN. HOMESITE OPEN SPACE IS DEFINED AS THE OPEN SPACE AREA LOCATED ON INDIVIDUAL MANUFACTURED HOMESITES, I.E. LEASED SITES, FOR THE ENJOYMENT OF RESIDENTS.
- BOTH BUFFER AREAS AND USEABLE OPEN SPACE AREAS ARE GOVERNED BY CITY OF GREELEY BUFFER LANDSCAPING STANDARDS, SEE SHEET 13 FOR THE IDENTIFICATION OF SPECIFIC STANDARDS AND THEIR APPLICATION.
- FURTHER OPEN SPACE DETAILS MAY BE FOUND ON SHEET 13.
- SEE "USEABLE OPEN SPACE" DEFINITIONS AND DEVIATIONS ON SHEET 3.
- SEE "AMENITIES" DEFINITIONS AND DEVIATIONS ON SHEET 3.
- SEE BUFFER AREA DEFINITIONS AND DEVIATIONS ON SHEET 3.
- AMENITY LOCATIONS ARE DETAILED ON SHEETS 13, 14 AND 15.

LAND USE:

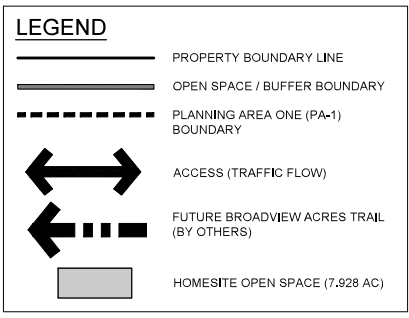
- A. **PLANNING AREA ONE:** LAND USE IN PLANNING AREA ONE (PA-1, AS DEPICTED ON THIS SHEET) SHALL CONSIST OF SINGLE-FAMILY MANUFACTURED HOMES, ACCESSORY STRUCTURES, AND RELATED APPURTENANCES. SEE SHEET 4 FOR DEVIATIONS FROM THE CITY OF GREELEY MUNICIPAL CODE AS DESCRIBED WITHIN THIS PUD.
- B. **USEABLE OPEN SPACE:** ALLOWED USES WITHIN USEABLE OPEN SPACE INCLUDE COMMUNITY AMENITIES INCLUDING BUT NOT LIMITED TO, PARKS, SHELTERS AND SHADE STRUCTURES, BENCHES, GRILLS AND TABLES, SPORTS FACILITIES, EXERCISE EQUIPMENT, BIKE REPAIR FACILITIES, COMMUNITY GARDENS, LANDSCAPE, PLAY FIELDS, PLAY STRUCTURES, SIDEWALKS AND TRAILS, MONUMENTATION AND SIGNAGE, DRAINAGE AND DETENTION FACILITIES AND ANY RELATED APPURTENANCES ASSOCIATED WITH THESE USES.

NOTE:

- AT THE TIME OF BROADVIEW ACRES TRAIL CONSTRUCTION, THE CITY OF GREELEY MAY CONTACT OWNER REQUESTING TEMPORARY CONSTRUCTION EASEMENTS. TEMPORARY CONSTRUCTION EASEMENTS WILL BE RESTRICTED TO BUFFER AREA 3 (BF3), USABLE OPEN SPACE 3 (US3), AND USABLE OPEN SPACE 4 (US4) SHOWN ON SHEET 2 OF THIS PRELIMINARY PUD

CONSTRUCTION MUST BE IN ACCORDANCE WITH APPLICABLE CITY OF GREELEY CONSTRUCTION STANDARDS, EXCEPT AS THOSE DEVIATIONS SHOWN HEREIN. THE CITY'S ACCEPTANCE SHALL NOT RELIEVE THE DESIGN ENGINEER'S RESPONSIBILITY FOR ERRORS, OMISSIONS, OR DESIGN DEFICIENCIES FOR WHICH THE CITY IS HELD HARMLESS.

ACCEPTED BY: _____ ENGINEERING DEVELOPMENT REVIEW/CIVIL INSPECTIONS MANAGER DATE _____



DAVID EVANS & ASSOCIATES, INC.
1600 Broadway Suite 800
Denver, Colorado 80202
Tel: 720-946-0969
Fax: 720-946-0973
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PRELIMINARY PUD
MASTER PLAN

SHEET 2
2 OF 19
DATE: **May 11, 2020**
DRAWN BY: JCB
CHECKED BY: MABU
PROJECT NO.: LNDASTBR-0001

STONEBROOK SUBDIVISION FILING NO. 1 BLOCK 1 LOT 4 PRELIMINARY PUD

A PORTION OF THE NORTHEAST QUARTER (NE1/4)
OF SECTION 2, TOWNSHIP 5 NORTH, RANGE 66 WEST OF THE 6TH P.M.,
CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO.

DEVELOPMENT STANDARD DEVIATIONS:

THIS PUD WILL FOLLOW THE STANDARD ZONING REQUIREMENTS OF CITY OF GREELEY MUNICIPAL CODE, TITLE 18 DEVELOPMENT CODE, EXCEPT AS SHOWN IN THE DEVIATIONS AND DETAILS SHOWN BELOW.

CHAPTER 32, PLANNED UNIT DEVELOPMENT STANDARDS (PUD) .050 USES PERMITTED, DWELLING UNITS PER ACRE	
BASE STANDARDS TO BE DEVIATED FROM	REVISED STANDARDS
SECTION D - GROSS DENSITY	THIS PUD SHALL NOT EXCEED AN AVERAGE GROSS DENSITY OF SEVEN, AND ONE-HALF (7.5) DWELLING UNITS PER ACRE. (SEE DETAILS ON SHEETS 7 & 8)

CHAPTER 38, ZONING DISTRICT DEVELOPMENT STANDARDS 050 R-MH RESIDENTIAL MOBILE HOME DISTRICT	
BASE STANDARDS TO BE DEVIATED FROM	REVISED STANDARDS
SECTION C - STREET WIDTH	28' PAVEMENT, 42' ROADWAY CORRIDOR (SEE DETAILS ON SHEETS 4 & 5)
SECTION D - OPEN SPACE	25% OF THE DEVELOPMENT SHALL BE PRESERVED AS OPEN SPACE WITHIN THREE CATEGORIES: ON-HOMESITE OPEN SPACE (OPEN SPACE ON LEASED HOMESITES), USABLE OPEN SPACE (PARKS AND RECREATIONAL AREAS), AND PERIMETER BUFFERS. 100% OF LANDSCAPED DRAINAGE FACILITIES SHALL COUNT TOWARDS THE OVERALL OPEN SPACE REQUIREMENT (SEE SHEETS 2 & 13)
SECTION I - SETBACKS	NO MANUFACTURED HOME SHALL BE LOCATED CLOSER THAN FIFTEEN (15) FEET FROM PUD BOUNDARY. SIDE SETBACK: ZERO (0) FEET SIDE HOMESITE LINE SETBACK IS PERMITTED, HOWEVER, AT LEAST TWENTY (20) FEET BETWEEN MANUFACTURED HOMES IS REQUIRED. FRONT SETBACK: SEVEN AND ONE-HALF (7.5) FEET MINIMUM BETWEEN THE FRONT OF MANUFACTURED HOMES & BACK OF SIDEWALK. (SEE DETAIL SHEET 4) REAR SETBACK: TEN (10) FEET MINIMUM BETWEEN THE REAR OF MANUFACTURED HOME & REAR HOMESITE LINE.

CHAPTER 38, ZONING & LAND USE STANDARDS 020 USEABLE OPEN SPACE SQUARE FOOTAGE AMENITIES	
BASE STANDARDS TO BE DEVIATED FROM	REVISED STANDARDS
SECTION I - AREA USAGE	USEABLE OPEN SPACE WITHIN THE COMMUNITY MUST BE UNOBSTRUCTED TO THE SKY WITH THE EXCEPTION OF SHELTERS AND SHADE STRUCTURES, AND SHALL BE A MINIMUM AREA OF FOUR THOUSAND (4,000) SQUARE FEET, EXCLUDING SETBACKS ADJACENT TO ROADWAY CORRIDOR. DESIGNATED COMMUNITY USABLE OPEN SPACE AREAS ARE REQUIRED TO CONTAIN AT LEAST ONE (1) RECREATIONAL AMENITY DESIGNED FOR THE BENEFIT OF THE COMMUNITY. (SEE SHEETS 14 AND 15 FOR DETAILS).

CHAPTER 46, DESIGN REVIEW PERFORMANCE STANDARDS .150	
BASE STANDARDS TO BE DEVIATED FROM	REVISED STANDARDS
SECTION C, #3 - DECKS/PATIOS/CAR PORTS	EACH MANUFACTURED HOME MAY HAVE OUTDOOR SPACE INCLUDING PATIOS, DECKS, CARPORTS, PORCHES AND ASSOCIATED AWNINGS, PATIOS, DECKS, CARPORTS, PORCHES AND AWNINGS MUST MEET APPLICABLE CITY OF GREELEY BUILDING CODE(S). THESE ELEMENTS MAY BE CONSTRUCTED OF WOOD, COMPOSITE, OR CONCRETE AND SHALL NOT EXCEED OVER TWO-HUNDRED (200) SQUARE FEET IN SIZE. PATIOS AND DECKS MUST BE A MINIMUM OF SIX (6) FEET FROM NEIGHBORING HOME SITE STRUCTURES, TEN (10) FEET FROM THE REAR BOUNDARY OF THE HOME SITE, AND SEVEN AND ONE-HALF (7.5) FEET FROM BACK OF SIDEWALK. PATIOS, DECKS AND PORCHES SHALL BE USED FOR RECREATIONAL PURPOSES ONLY, SHALL NOT BE USED FOR STORAGE OR HUMAN HABITATION AND SHALL REMAIN AT LEAST SIXTY-FIVE PERCENT (65%) OPEN AND UNOBSTRUCTED ON THREE (3) SIDES. FENCES ARE NOT PERMITTED BETWEEN HOMESITES OR ALONG THE PERIMETER OF THE COMMUNITY. (REFER TO SHEET 4 FOR ADDITIONAL DETAILS)
SECTION C, #6 - PAVED DRIVEWAYS	EACH HOMESITE WILL PROVIDE TWO (2) DRIVEWAY PARKING SPACES WITH MINIMUM DIMENSIONS OF NINE (9) FEET WIDE AND TWENTY (20) FEET DEEP PROVIDED IN A TANDEM OR SIDE-BY-SIDE CONFIGURATION. ALL TANDEM DRIVEWAYS SHALL BE A MINIMUM OF FORTY (40) FEET IN LENGTH. NO DRIVEWAY SHALL EXCEED TWENTY-THREE (23) FEET IN WIDTH AT THE INTERSECTION WITH THE STREET, AND NO PARKING IS PERMITTED BETWEEN THE FRONT OF MANUFACTURED HOME AND THE STREET. DRIVEWAYS SHALL COUNT TOWARD REQUIRED PARKING FOR EACH HOMESITE, EACH PARKING SPACE SHALL BE DESIGNED SO THAT VEHICLES DO NOT OVERHANG THE ADJOINING COMMUNITY SIDEWALK. (SEE DETAIL ON SHEET 4)
SECTION C, #8 - USEABLE SPACE	NO LESS THAN TWENTY-FIVE PERCENT (25%) OF THE GROSS AREA OF THE MANUFACTURED HOME COMMUNITY SHALL BE RESERVED FOR AND DEVOTED TO OPEN SPACE WITHIN THREE CATEGORIES: ON-HOMESITE OPEN SPACE (OPEN SPACE ON LEASED HOMESITES), USABLE OPEN SPACE (PARKS AND RECREATIONAL AREAS), AND PERIMETER BUFFERS, OF THE REQUIRED OPEN SPACE AREA, FIFTY PERCENT (50%) SHALL BE USEABLE OPEN SPACE, AS DEFINED BY THIS PUD, ONE HUNDRED PERCENT (100%) OF LANDSCAPED DRAINAGE AND DETENTION FACILITIES SHALL COUNT TOWARD THE OVERALL OPEN SPACE REQUIREMENT (SEE SHEET 2)
SECTION C, #9E - COMMUNITY POCKET PARK/AMENITIES USEABLE SPACE	RECREATIONAL AMENITIES MAY INCLUDE SWIMMING POOLS; CLUBHOUSES, COMMUNITY CENTERS OR BUILDINGS; PLAYGROUNDS WITH PLAY EQUIPMENT; OUTDOOR EXERCISE STATIONS, BIKE REPAIR STATIONS; SHELTERS, GRILL & TABLE AREAS, BENCHES; SPORTS FACILITIES SUCH AS TENNIS, SMALL-SIDE SOCCER FIELDS, VOLLEYBALL OR BASKETBALL; HORSESHOE PITS; AND TRAIL SYSTEMS, NOT OTHERWISE REQUIRED AS A SUBSTITUTE FOR SIDEWALKS, SHALL BE PROVIDED BASED ON THE FOLLOWING SCHEDULE: A. PLAYGROUNDS WITH COMMERCIAL GRADE EQUIPMENT, COMMERCIAL GRADE PICNIC/BARBEQUE AREAS, OR SPORTS FACILITIES (OUTDOOR EXERCISE STATIONS, BIKE REPAIR STATIONS, SMALL-SIDE SOCCER FIELDS, TENNIS, VOLLEYBALL, OR BASKETBALL COURTS AND HORSESHOE PITS) AT LEAST ONE THOUSAND (1,000) SQUARE FEET IN SIZE SHALL EACH COUNT AS ONE (1) RECREATIONAL AMENITY. B. SYSTEM OF PEDESTRIAN TRAILS SHALL COUNT AS ONE-HALF (0.50) RECREATIONAL AMENITY. C. IN-THE-GROUND SWIMMING POOLS AT LEAST TWENTY (20) FEET BY FORTY (40) FEET AND COMMUNITY BUILDINGS AT LEAST TWO THOUSAND (2,000) SQUARE FEET IN SIZE SHALL COUNT AS TWO (2) RECREATIONAL AMENITIES. D. COMMUNITY SEATING AREAS OR COUNCIL RING SEATING AREAS ACCOMPANIED WITH A HORSESHOE PIT OR OTHER LAWN GAME IN COMMON AREAS SHALL COUNT AS TWO (2) RECREATIONAL AMENITIES. (SEE SHEET 13) EACH AMENITY SHALL REPRESENT A NINE HUNDRED AND TWENTY-ONE (921) SQUARE FOOT CREDIT TOWARDS THE COMMUNITIES REQUIRED USEABLE OPEN SPACE AREA.
SECTION D, #1 - STORAGE SPACE	THERE WILL BE NO OFF-HOMESITE STORAGE WITHIN COMMUNITY BUILDINGS OR CENTRAL STORAGE FACILITIES ALLOWED WITHIN THIS PUD.
SECTION D, #3F - GARAGES	NOT ALLOWED WITHIN THE COMMUNITY
SECTION D, #4 - ACCESSORY BUILDINGS & STRUCTURES	ACCESSORY BUILDINGS OR STRUCTURES MAY BE LOCATED WITHIN THE TWENTY (20) FOOT BUILDING SEPARATION AREA AS LONG AS THEY ARE NO CLOSER THAN SIX (6) FEET FROM ANY ADJACENT MANUFACTURED HOME. ACCESSORY BUILDINGS SHALL BE NO CLOSER THAN TEN (10) FEET FROM THE REAR OF THE HOMESITE AND NO CLOSER THAN FORTY SEVEN AND ONE-HALF (47.5) FEET FROM THE BACK OF SIDEWALK. ACCESSORY BUILDINGS OR STRUCTURES SHALL BE LIMITED TO A MAXIMUM SIZE OF 120 SQUARE FEET, SECONDARY EXIT STAIRS MAY BE LOCATED ON ADJOINING HOMESITES TO PROVIDE FOR EMERGENCY EGRESS. STAIRS MAY BE NO LARGER THAN FIVE (5) FEET BY FIVE (5) FEET IN SIZE. STAIRS LOCATED ON A ZERO SETBACK MAY EXTEND INTO THE ADJACENT HOME SITE AREA AND SHALL NOT BE USED AS THE PRIMARY ENTRANCE TO THE HOME. (SEE DETAIL ON SHEET 4.)

CHAPTER 44, BUFFER YARD & SCREEN STANDARDS 110	
BASE STANDARDS TO BE DEVIATED FROM	REVISED STANDARDS
TABLE 018.44.110	IN THOSE AREAS WHERE USEABLE OPEN SPACE IS LOCATED WITHIN AREAS OTHERWISE GOVERNED BY BUFFER YARD STANDARDS, BUFFER YARD STANDARDS SHALL APPLY. THE SOUTHERN AND NORTHERN PUD BOUNDARIES SHALL ADHERE TO BUFFER YARD A STANDARDS, EXISTING AND MATURE, HEALTHY TREES WITHIN THE AREA SHALL COUNT TOWARD THE DEFINED BUFFER YARD A STANDARDS. THE PORTION OF THE EASTERN PUD BOUNDARY ADJACENT TO NORTH 35TH AVENUE SHALL ADHERE TO ARTERIAL BUFFER STANDARDS. (SEE DETAIL SHEET 13)
TABLE 18.44-10, PLANTING REQUIREMENTS	THE NUMBER OF PLANTINGS REQUIRED ARE SHOWN ON SHEET 13, THE FUTURE LOCATION OF PLANTINGS MAY BE ADJUSTED AS NECESSARY.

CHAPTER 44, BUFFER YARD & SCREEN STANDARDS 130	
BASE STANDARDS TO BE DEVIATED FROM	REVISED STANDARDS
SECTION I, PERIMETER TREATMENT	PERIMETER TREATMENT ALONG 35TH AVENUE WILL ADHERE TO THE LANDSCAPING STANDARDS DEFINED IN SECTION 18.44.130 (I), WITH THE EXCEPTION THAT LANDSCAPING ELEMENTS WILL BE LOCATED SO THAT THE FUTURE EXPANSION OF 35TH AVENUE DOES NOT NECESSITATE THE REMOVAL OF PLANTED MATERIALS. STREET TREES PLANTED AS PART OF THE FUTURE ROADWAY EXPANSION WILL BE THE RESPONSIBILITY OF THE CITY OF GREELEY.

DESIGN CRITERIA & CONSTRUCTION SPECIFICATIONS	
BASE STANDARDS TO BE DEVIATED FROM	REVISED STANDARDS
SECTION 1.10.B, #2 - LOCAL RESIDENTIAL CURB TYPE	THE CURB AND GUTTER FOR ALL STREETS WITHIN THIS PUD SHALL BE MODIFIED DRIVE OVER CURB & GUTTER WITH A ONE (1) FOOT GUTTER AND ONE (1) FOOT ROLLED CURB, FIVE (5) INCHES IN HEIGHT FROM FLOWLINE TO BACK OF CURB WITH A FIVE (5) FOOT ATTACHED SIDEWALK (SEE DETAIL SHEET 5)
SECTION 1.03, TABLE 1.03.1 ROADWAY CORRIDOR & STREET CROSS SECTIONS, LOCAL RESIDENTIAL	ALL STREETS WITHIN THIS PUD SHALL BE PRIVATE WITH A FORTY-TWO (42) FOOT ROADWAY CORRIDOR AND SHALL INCLUDE A THIRTY (30) FOOT FLOWLINE TO FLOWLINE ROADWAY WIDTH WITH THIRTY (30) FEET WIDE INTERSECTIONS, WITH TWO (2) TRAVEL LANES, EACH TRAVEL LANE BEING NINE (9) FEET IN WIDTH, SIX (6) FOOT PARKING LANES SHALL BE PROVIDED ON EITHER SIDE. (SEE 2' DRIVE OVER CURB & GUTTER (MODIFIED) DETAIL ON SHEET 5)

CONSTRUCTION MUST BE IN ACCORDANCE WITH APPLICABLE CITY OF GREELEY CONSTRUCTION STANDARDS, EXCEPT AS THOSE DEVIATIONS SHOWN HEREIN. THE CITY'S ACCEPTANCE SHALL NOT RELIEVE THE DESIGN ENGINEER'S RESPONSIBILITY FOR ERRORS, OMISSIONS, OR DESIGN DEFICIENCIES FOR WHICH THE CITY IS HELD HARMLESS.

ACCEPTED BY: _____ ENGINEERING DEVELOPMENT REVIEW/CIVIL _____ DATE _____
INSPECTIONS MANAGER

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**PRELIMINARY PUD
DESIGN GUIDELINES -
NOTES**

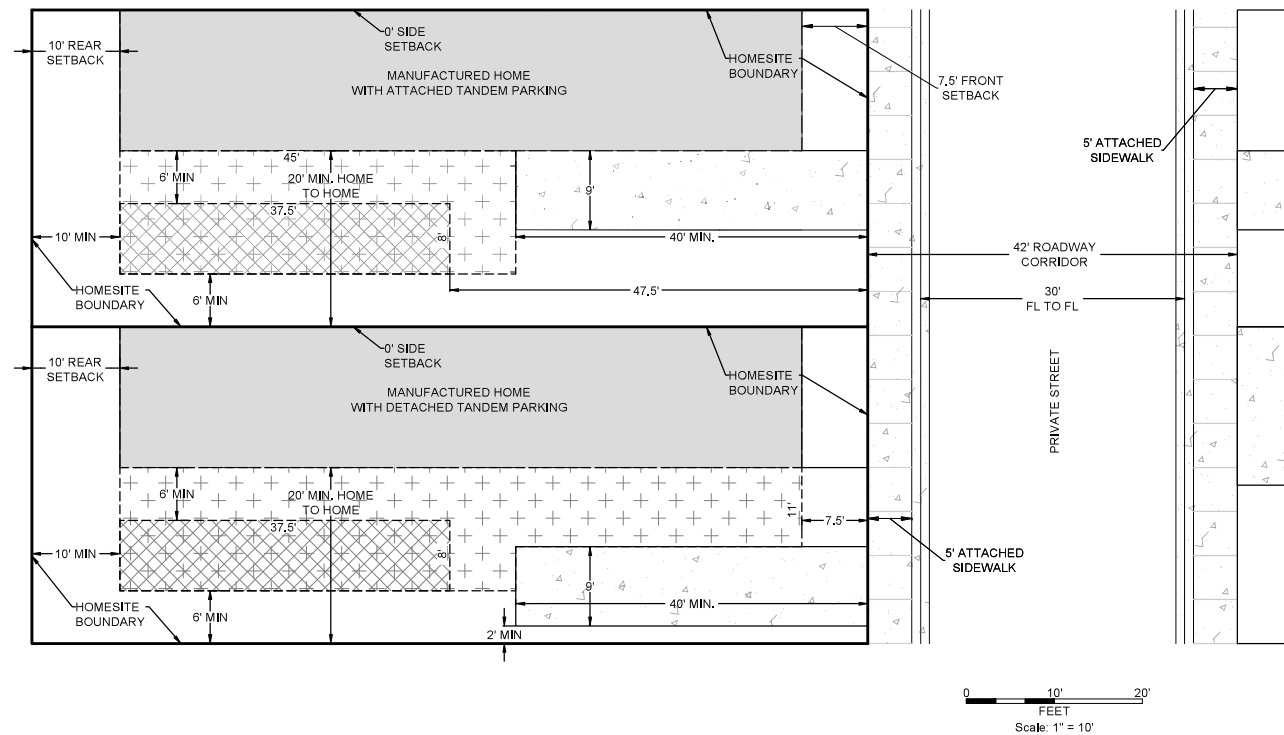
SHEET 3
3 OF 19
DATE: **May 11, 2020**
DRAWN BY: **JCB**
CHECKED BY: **MABU**
PROJECT NO.: **LNDASTBR-0001**

STONEBROOK SUBDIVISION FILING NO. 1 BLOCK 1 LOT 4 PRELIMINARY PUD

A PORTION OF THE NORTHEAST QUARTER (NE1/4)
OF SECTION 2, TOWNSHIP 5 NORTH, RANGE 66 WEST OF THE 6TH P.M.,
CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO.

STORAGE & ACCESSORY STRUCTURE REQUIREMENTS (TANDEM PARKING)

SEE SHEET 3 FOR DETAILS



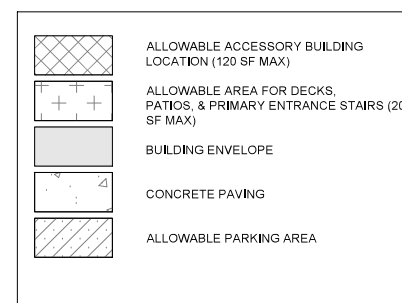
PARKING STANDARDS:

- OFF-STREET PARKING - EACH HOMESITE WILL BE PROVIDED WITH TWO (2) CONCRETE OFF-STREET PARKING SPACES IN A TANDEM OR SIDE-BY-SIDE CONFIGURATION. PARKING BETWEEN THE FRONT OF STRUCTURES AND THE ROADWAY CORRIDOR IS NOT PERMITTED. EACH PARKING SPACE SHALL BE A MINIMUM OF NINE (9) FEET WIDE BY TWENTY (20) FEET IN LENGTH AND MAY NOT INFRINGE WITHIN THE ROADWAY CORRIDOR OR BACK OF SIDEWALK, SEE "SITE STANDARDS" ON SHEET 3 FOR ADDITIONAL DETAILS.
- GUEST PARKING- ON-STREET PARALLEL PARKING IS ACCOMMODATED WITHIN THE ROADWAY CORRIDOR AND SHALL PROVIDE A MINIMUM OF .75 GUEST PARKING SPACES FOR EACH HOMESITE. SEE "PRIVATE STREET DESIGN" ON SHEET 5, "PROPOSED "PRIVATE STREET" DESIGN" FOR ADDITIONAL DETAILS.
- ADA PARKING- ONE (1) ADA ON-STREET PARKING SPACE WILL BE PROVIDED DIRECTLY ADJACENT TO THE COMMUNITY PARK. SEE SHEET 13 FOR LOCATION.
- OFF-STREET PARKING SPACES SHALL BE LOCATED A MINIMUM OF TWO (2) FEET FROM HOMESITE BOUNDARY/LEASE AREA LINES, SEE SHEET 3 FOR DEVIATION TO "CHAPTER 46, DESIGN REVIEW PERFORMANCE STANDARDS .150, SECTION C, #5 - PAVED DRIVEWAYS."
- TWO CONCRETE PARKING SPACES SHALL BE PROVIDED FOR EACH HOMESITE. EACH INDIVIDUAL PARKING SPACE SHALL MEASURE NINE (9) FEET IN WIDTH BY TWENTY (20) FEET IN LENGTH. A MINIMUM CONCRETE PARKING PAD AREA OF 360 SQUARE FEET SHALL BE PROVIDED WITHIN THE DESIGNATED PARKING AREA ON EACH HOMESITE. TANDEM PARKING CONFIGURATIONS ARE PERMITTED ON ALL HOMESITES. IN THE TANDEM PARKING CONFIGURATION, THE CONCRETE PARKING PAD DIMENSIONS FOR TWO TANDEM PARKING SPACES SHALL MEASURE NINE (9) FEET IN WIDTH BY FORTY (40) FEET IN LENGTH.
- WHERE HOMESITE DIMENSIONS PERMIT AND WHERE TWO (2) FEET OF SEPARATION BETWEEN HOMESITE LINES & CONCRETE PARKING PADS CAN BE ACHIEVED, SIDE-BY-SIDE PARKING CONFIGURATIONS ARE PERMITTED. IN THE SIDE-BY-SIDE CONFIGURATION, THE CONCRETE PARKING PAD DIMENSIONS FOR TWO SIDE-BY-SIDE PARKING SPACES SHALL MEASURE EIGHTEEN (18) FEET IN WIDTH BY TWENTY (20) FEET IN LENGTH.

NOTES

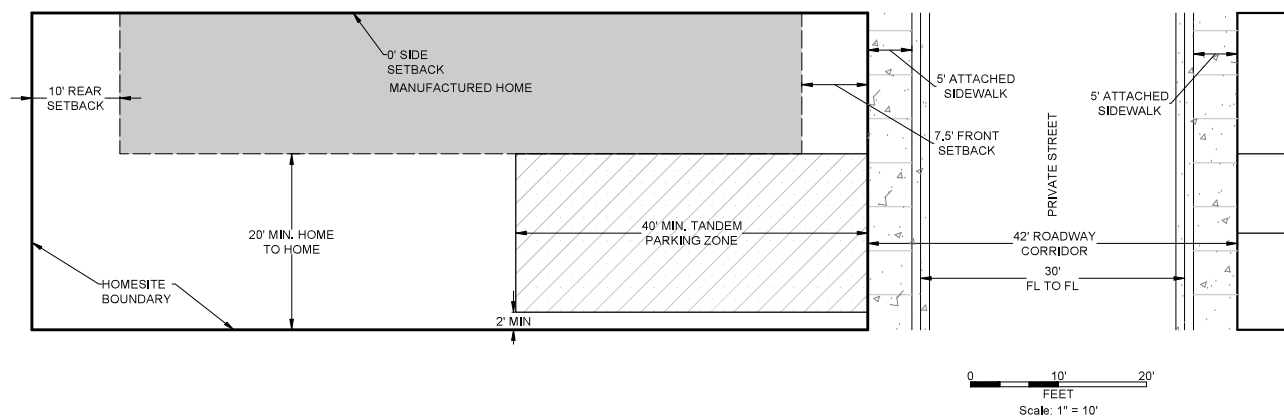
- MANUFACTURED HOME SHALL BE A MINIMUM OF FIFTEEN (15) FEET FROM PUD BOUNDARY.
- MANUFACTURED HOME SHALL BE A MINIMUM OF TWENTY-FIVE (25) FEET FROM CITY OF GREELEY PUBLIC RIGHT-OF-WAY.
- ON A CORNER HOMESITE, A MINIMUM SIDE SETBACK OF 10 FEET IS REQUIRED BETWEEN THE MANUFACTURED HOME AND THE ROADWAY CORRIDOR.
- FENCES ARE NOT PERMITTED BETWEEN HOMESITES.
- SECONDARY EXIT STAIRS MAY BE LOCATED ON ADJACENT HOMESITES TO ALLOW FOR EMERGENCY EGRESS.
- SEE SHEET 18 FOR ARCHITECTURAL DETAILS REGARDING PROPOSED MANUFACTURED HOMES.
- SEE SHEET 3 FOR COMMUNITY SETBACK DEFINITIONS AND DEVIATIONS.
- SEE SHEET 3 FOR ACCESSORY BUILDING DEFINITIONS AND DEVIATIONS.
- SEE SHEET 3 FOR SECONDARY STAIR DEFINITIONS AND DEVIATIONS.
- SEE SHEET 3 FOR DECKS, PATIOS AND STAIR DEFINITIONS AND DEVIATIONS.

LEGEND



MANUFACTURED HOME SETBACK & PARKING REQUIREMENTS

SEE SHEET 3 FOR DETAILS



CONSTRUCTION MUST BE IN ACCORDANCE WITH APPLICABLE CITY OF GREELEY CONSTRUCTION STANDARDS, EXCEPT AS THOSE DEVIATIONS SHOWN HEREIN. THE CITY'S ACCEPTANCE SHALL NOT RELIEVE THE DESIGN ENGINEER'S RESPONSIBILITY FOR ERRORS, OMISSIONS, OR DESIGN DEFICIENCIES FOR WHICH THE CITY IS HELD HARMLESS.

ACCEPTED BY: _____ ENGINEERING DEVELOPMENT REVIEW/CIVIL INSPECTIONS MANAGER DATE _____

DAVID EVANS & ASSOCIATES, INC.
1600 Broadway Suite 800
Denver, Colorado 80202
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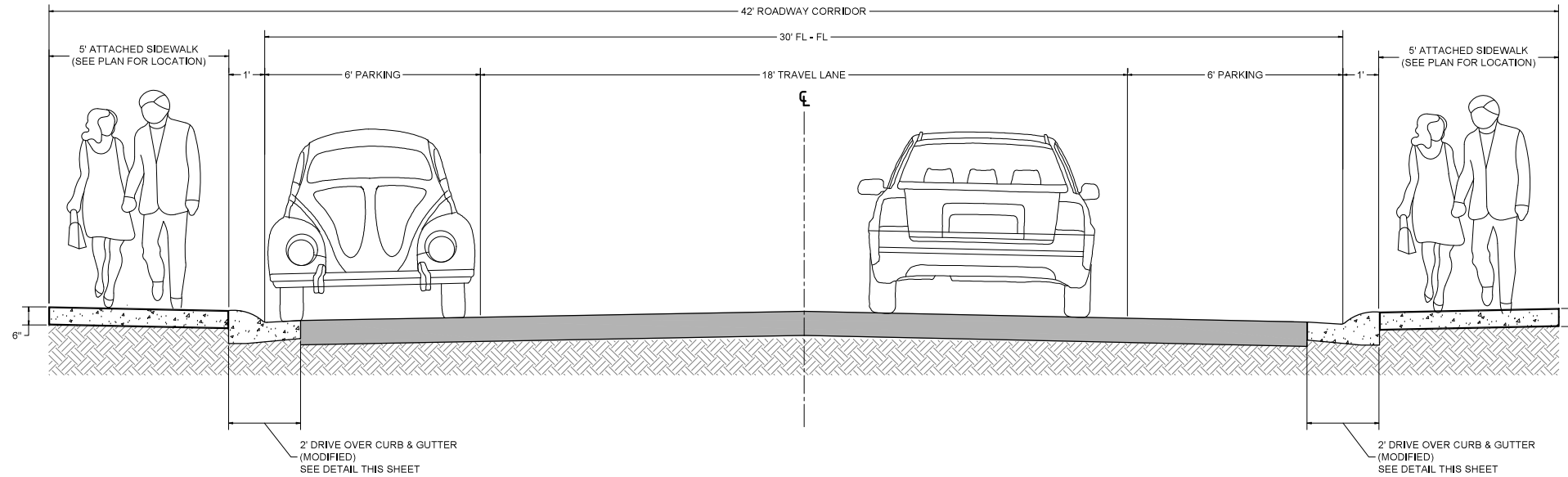
**PRELIMINARY PUD
DESIGN GUIDELINES
- STANDARDS**

SHEET 4
4 OF 19
DATE: **May 11, 2020**
DRAWN BY: **JCB**
CHECKED BY: **MABU**
PROJECT NO.: **LNDASTBR-0001**

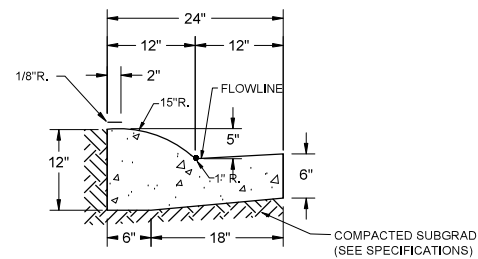
STONEBROOK SUBDIVISION FILING NO. 1 BLOCK 1 LOT 4 PRELIMINARY PUD

A PORTION OF THE NORTHEAST QUARTER (NE1/4)
OF SECTION 2, TOWNSHIP 5 NORTH, RANGE 66 WEST OF THE 6TH P.M.,
CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO.

PROPOSED "PRIVATE" STREET DESIGN:



PROPOSED "PRIVATE" STREET



2' DRIVE OVER CURB & GUTTER (MODIFIED)
(NTS)

NOTES

1. SIDEWALK SHALL BE A MINIMUM SIX (6) INCHES THICK AND FIVE (5) FEET WIDE.
2. MAXIMUM SPACING OF CONTRACTION JOINTS SHALL BE EIGHT (8) FEET.
3. EXPANSION JOINTS ARE REQUIRED BETWEEN BACK OF CURB AND SIDEWALK.
4. SIDEWALKS SHALL RECEIVE A LIGHT BROOM FINISH.

PRIVATE STREET STANDARDS:

1. ALL INTERNAL STREETS ARE DESIGNATED AS PRIVATE.
2. PRIVATE STREETS SHALL BE OWNED AND MAINTAINED BY THE OWNER OR HOMEOWNERS ASSOCIATION.
3. THE TOTAL WIDTH OF THE PRIVATE ROADWAY CORRIDOR IS FORTY-TWO (42) FEET (BACK-OF-SIDEWALK TO BACK-OF-SIDEWALK).
4. ON-STREET PARKING MEASURING SIX (6) FEET IN WIDTH WILL BE PROVIDED ON BOTH SIDES OF THE STREET, PARALLEL TO THE CURB AND SHALL ACCOMMODATE GUEST PARKING FOR THE MANUFACTURED HOMES.
5. A FIVE (5) FOOT WIDE, ATTACHED PEDESTRIAN SIDEWALK WILL BE PROVIDED ON BOTH SIDES OF ALL PRIVATE STREETS.
6. AN EIGHTEEN (18) FEET BI-DIRECTIONAL TRAVEL WAY WILL BE PROVIDED ON ALL PRIVATE STREETS. THE TRAVEL WAY IS EXCLUSIVE OF THE SIX (6) FEET ON-STREET PARKING PROVIDED ON BOTH SIDES OF THE STREET.
7. TWO (2) FOOT WIDE MODIFIED DRIVE OVER CURB & GUTTER SHALL BE PROVIDED ON BOTH SIDES OF THE PRIVATE STREET. SEE "DRIVE OVER CURB & GUTTER (MODIFIED)" DETAIL ON THIS SHEET.

CONSTRUCTION MUST BE IN ACCORDANCE WITH APPLICABLE CITY OF GREELEY CONSTRUCTION STANDARDS, EXCEPT AS THOSE DEVIATIONS SHOWN HEREIN. THE CITY'S ACCEPTANCE SHALL NOT RELIEVE THE DESIGN ENGINEER'S RESPONSIBILITY FOR ERRORS, OMISSIONS, OR DESIGN DEFICIENCIES FOR WHICH THE CITY IS HELD HARMLESS.

ACCEPTED BY: _____ ENGINEERING DEVELOPMENT REVIEW/CIVIL _____ DATE _____
INSPECTIONS MANAGER

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1600 Broadway Suite 800
Denver, Colorado 80202
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PRELIMINARY PUD
DESIGN GUIDELINES
ROADWAY DESIGN

SHEET 5
5 OF 19
DATE: **May 11, 2020**
DRAWN BY: **JCB**
CHECKED BY: **MABU**
PROJECT NO.: **LNDASTBR-0001**

STONEBROOK SUBDIVISION FILING NO. 1 BLOCK 1 LOT 4 PRELIMINARY PUD

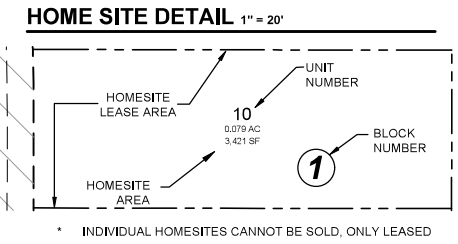
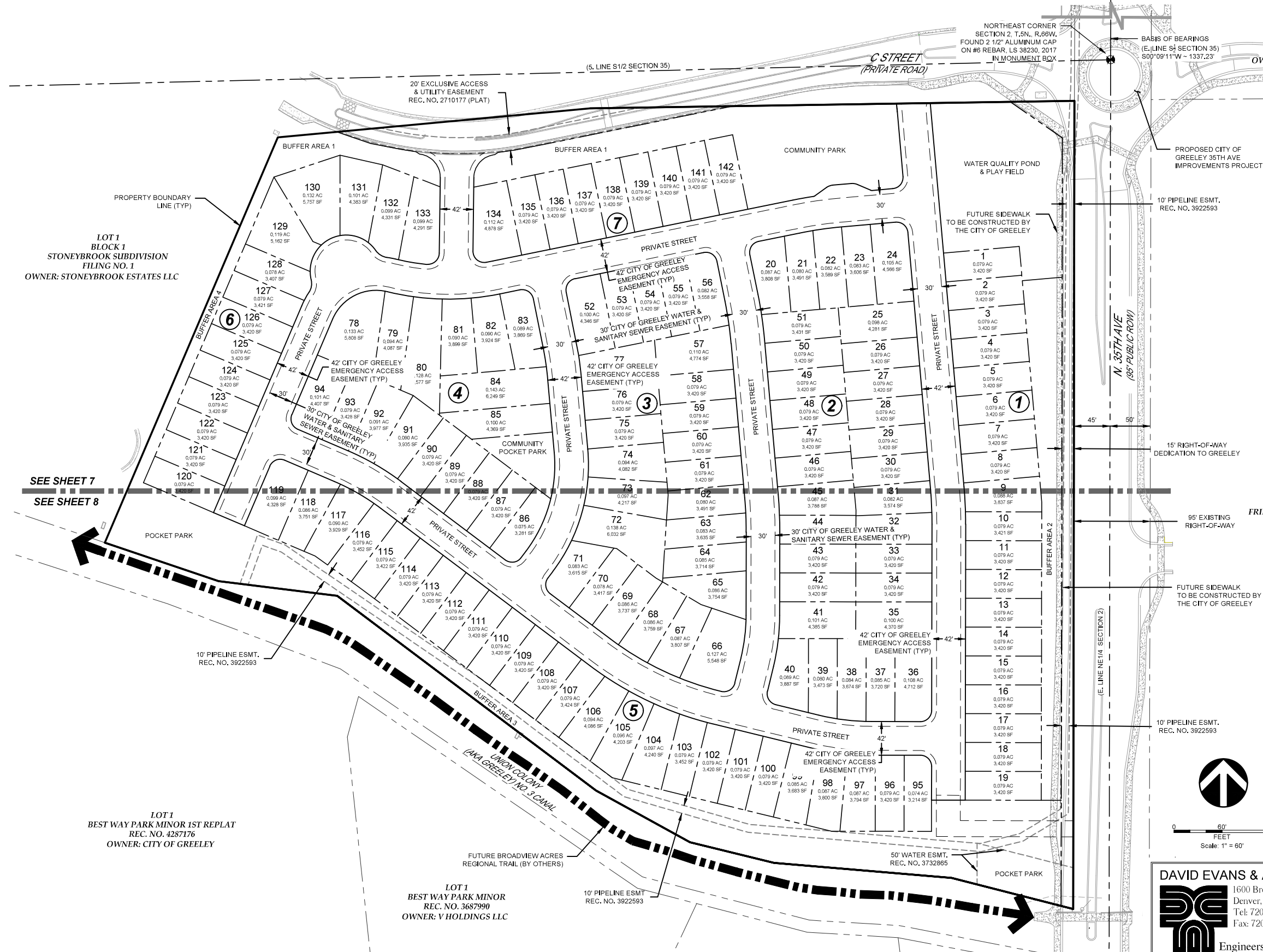
A PORTION OF THE NORTHEAST QUARTER (NE1/4)
OF SECTION 2, TOWNSHIP 5 NORTH, RANGE 66 WEST OF THE 6TH P.M.,
CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO.

SOUTH SIXTEENTH CORNER
SECTIONS 35/36, T.5N., R.66W., FOUND
2 1/2" ALUMINUM CAP ON #6 REBAR, LS
31169, 1998 IN MONUMENT BOX

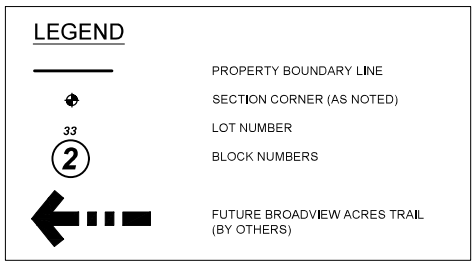
NORTHEAST CORNER
SECTION 2, T.5N., R.66W.
FOUND 2 1/2" ALUMINUM CAP
ON #6 REBAR, LS 38230, 2017
IN MONUMENT BOX

BASIS OF BEARINGS
(E. LINE S4 SECTION 35)
S00°09'11"W - 1337.23'

VACANT LAND
REC. NO. 2363650
OWNER: 3L INVESTMENT LLC



- NOTE:**
- AT THE TIME OF BROADVIEW ACRES TRAIL CONSTRUCTION, THE CITY OF GREELEY MAY CONTACT OWNER REQUESTING TEMPORARY CONSTRUCTION EASEMENTS, TEMPORARY CONSTRUCTION EASEMENTS WILL BE RESTRICTED TO BUFFER AREA 3 (BF3), USABLE OPEN SPACE 3 (US3), AND USABLE OPEN SPACE 4 (US4) SHOWN ON SHEET 2 OF THIS PRELIMINARY PUD.
 - ACCESS, WHETHER FOR EMERGENCY OR NON-EMERGENCY PURPOSES IS GRANTED OVER AND ACROSS ALL ACCESS WAYS FOR POLICE, FIRE AND EMERGENCY VEHICLES. IF ANY OR ALL OF THE ACCESS WAYS IN THIS SUBDIVISION ARE PRIVATE, THE HOMEOWNERS ASSOCIATION WILL BE RESPONSIBLE FOR ENSURING THAT SUCH ACCESS WAYS ARE PASSABLE, AT ALL TIMES, FOR POLICE, FIRE AND EMERGENCY VEHICLES.



CONSTRUCTION MUST BE IN ACCORDANCE WITH APPLICABLE CITY OF GREELEY CONSTRUCTION STANDARDS, EXCEPT AS THOSE DEVIATIONS SHOWN HEREIN. THE CITY'S ACCEPTANCE SHALL NOT RELIEVE THE DESIGN ENGINEER'S RESPONSIBILITY FOR ERRORS, OMISSIONS, OR DESIGN DEFICIENCIES FOR WHICH THE CITY IS HELD HARMLESS.

ACCEPTED BY: _____ ENGINEERING DEVELOPMENT REVIEW/CIVIL INSPECTIONS MANAGER DATE _____

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PRELIMINARY PUD
OVERALL SITE PLAN

SHEET 6
 6 OF 19
 DATE: **May 11, 2020**
 DRAWN BY: JCB
 CHECKED BY: MABU
 PROJECT NO.: LINDASTBR-0001

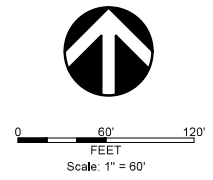
LOT 1
BLOCK 1
STONEBROOK SUBDIVISION
FILING NO. 1
OWNER: STONEYBROOK ESTATES LLC

SEE SHEET 7
SEE SHEET 8

LOT 1
BEST WAY PARK MINOR 1ST REPLAT
REC. NO. 4287176
OWNER: CITY OF GREELEY

LOT 1
BEST WAY PARK MINOR
REC. NO. 3687990
OWNER: V HOLDINGS LLC

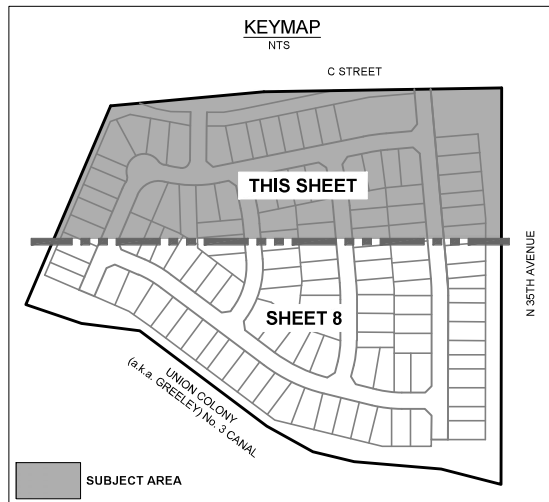
10' PIPELINE ESMT.
REC. NO. 3922593



STONEBROOK SUBDIVISION FILING NO. 1 BLOCK 1 LOT 4 PRELIMINARY PUD

A PORTION OF THE NORTHEAST QUARTER (NE1/4)
OF SECTION 2, TOWNSHIP 5 NORTH, RANGE 66 WEST OF THE 6TH P.M.,
CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO.

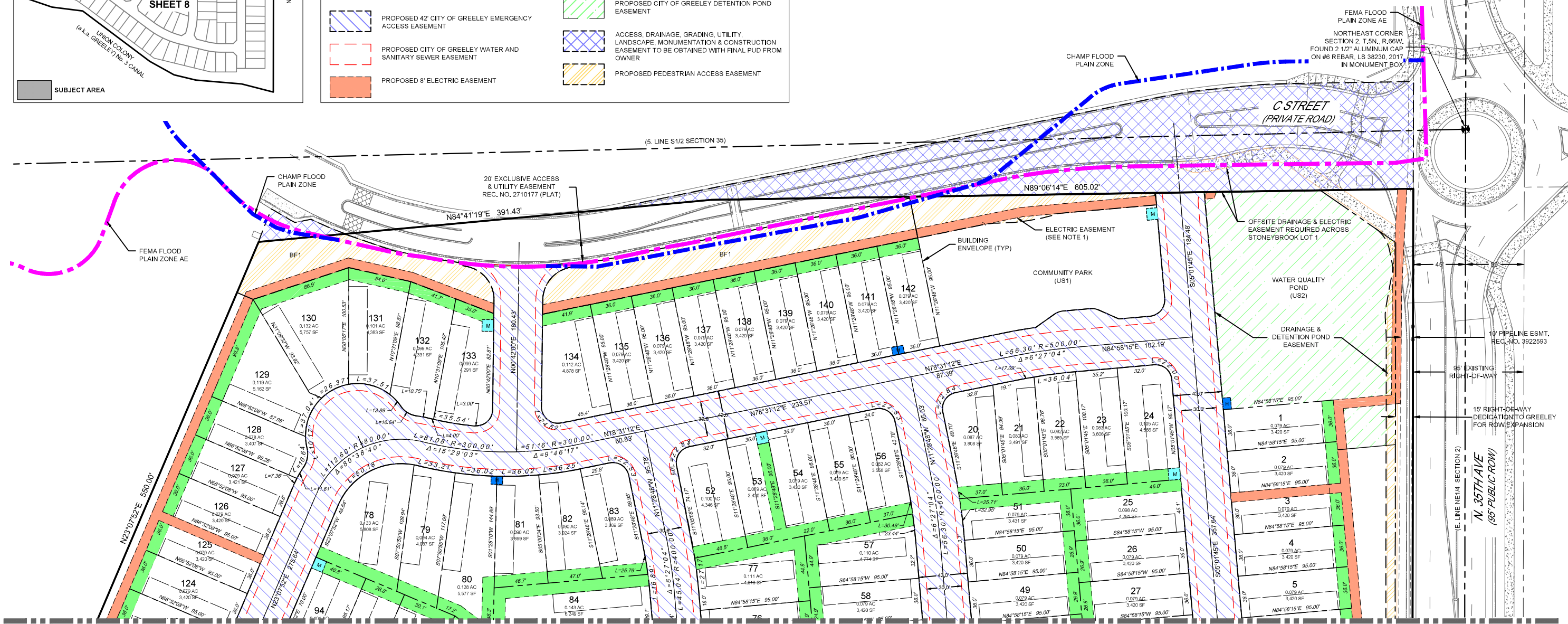
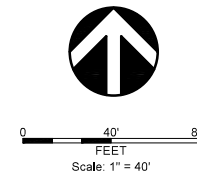
SOUTH SIXTEENTH CORNER
SECTIONS 35/36, T.6N., R.66W.
FOUND 2 1/2" ALUMINUM CAP
ON #6 REBAR, LS 31169, 1998
IN MONUMENT BOX



EASEMENT LEGEND	
	BOUNDARY LINE
	FEMA FLOOD PLAIN ZONE AE
	PROPOSED CHAMP REVISED ZONE AE
	SECTION CORNER (AS NOTED)
	EXISTING EASEMENTS SEE PLAN FOR RECEPTION NUMBER
	PROPOSED 42' CITY OF GREELEY EMERGENCY ACCESS EASEMENT
	PROPOSED CITY OF GREELEY WATER AND SANITARY SEWER EASEMENT
	PROPOSED 8' ELECTRIC EASEMENT
	PROPOSED CITY OF GREELEY WATER METER EASEMENT
	PROPOSED CITY OF GREELEY WATER FIRE HYDRANT EASEMENT
	UTILITY CORRIDOR
	PROPOSED CITY OF GREELEY DETENTION POND EASEMENT
	ACCESS, DRAINAGE, GRADING, UTILITY, LANDSCAPE, MONUMENTATION & CONSTRUCTION EASEMENT TO BE OBTAINED WITH FINAL PUD FROM OWNER
	PROPOSED PEDESTRIAN ACCESS EASEMENT

NOTES

- GAS AND ELECTRIC ALIGNMENTS AND ASSOCIATED EASEMENTS SHOWN ARE PRELIMINARY; FINAL DESIGN TO BE COORDINATED WITH LOCAL UTILITY PROVIDER AT TIME OF CONSTRUCTION DOCUMENT PREPARATION.
- ACCESS, WHETHER FOR EMERGENCY OR NON-EMERGENCY PURPOSES IS GRANTED OVER AND ACROSS ALL ACCESS WAYS FOR POLICE, FIRE AND EMERGENCY VEHICLES. IF ANY OR ALL OF THE ACCESS WAYS IN THIS SUBDIVISION ARE PRIVATE, THE HOMEOWNERS ASSOCIATION WILL BE RESPONSIBLE FOR ENSURING THAT SUCH ACCESS WAYS ARE PASSABLE, AT ALL TIMES, FOR POLICE, FIRE AND EMERGENCY VEHICLES.



MATCHLINE - SEE SHEET 8

CONSTRUCTION MUST BE IN ACCORDANCE WITH APPLICABLE CITY OF GREELEY CONSTRUCTION STANDARDS, EXCEPT AS THOSE DEVIATIONS SHOWN HEREIN. THE CITY'S ACCEPTANCE SHALL NOT RELIEVE THE DESIGN ENGINEER'S RESPONSIBILITY FOR ERRORS, OMISSIONS, OR DESIGN DEFICIENCIES FOR WHICH THE CITY IS HELD HARMLESS.

ACCEPTED BY: _____ DATE _____
ENGINEERING DEVELOPMENT REVIEW/CIVIL INSPECTIONS MANAGER

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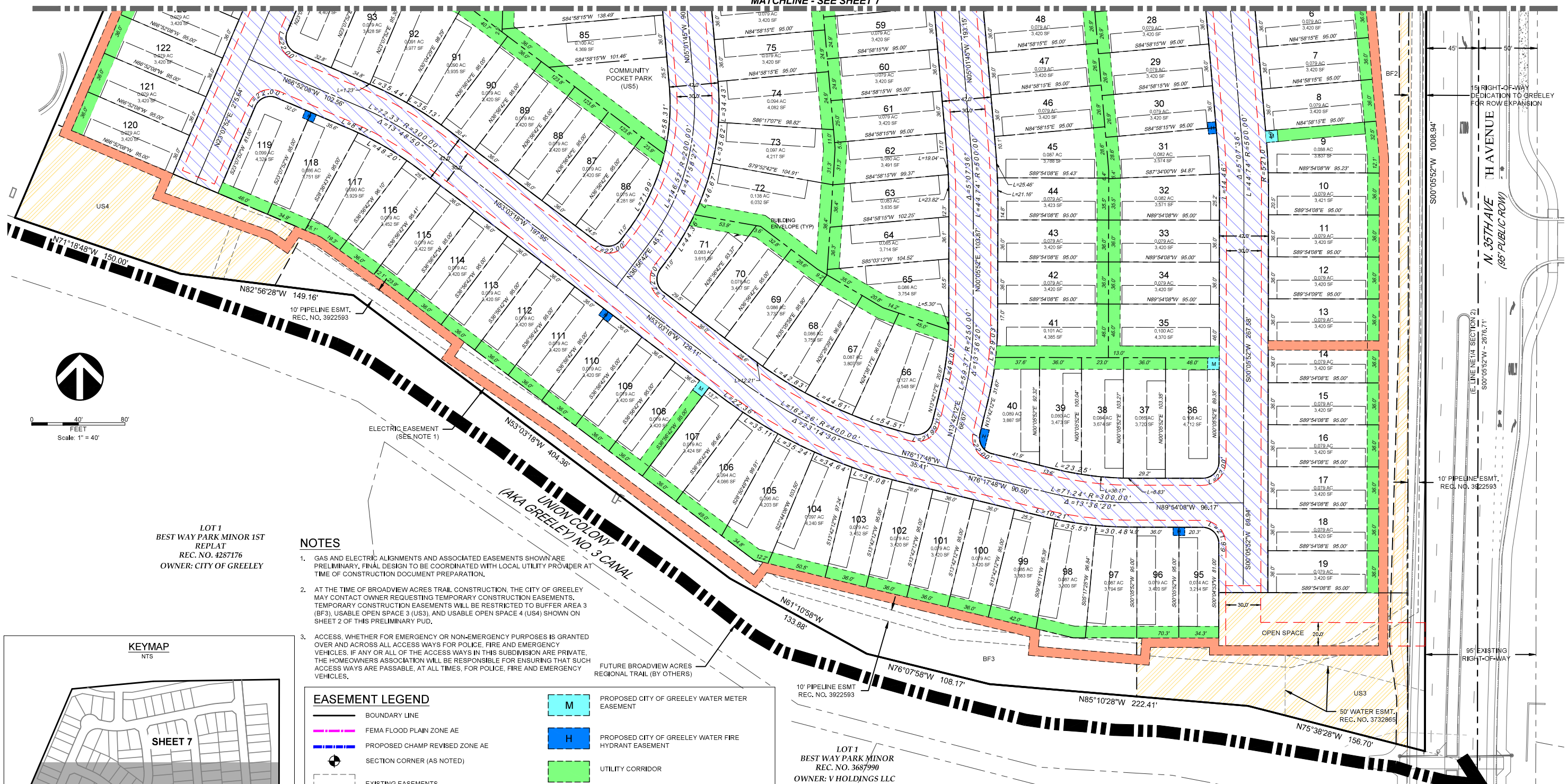
PRELIMINARY PUD
PRELIMINARY SITE PLAN 01

SHEET 7
7 OF 19
DATE: **May 11, 2020**
DRAWN BY: **JCB**
CHECKED BY: **MABU**
PROJECT NO.: **LINDASTBR-0001**

STONEBROOK SUBDIVISION FILING NO. 1 BLOCK 1 LOT 4 PRELIMINARY PUD

A PORTION OF THE NORTHEAST QUARTER (NE1/4)
OF SECTION 2, TOWNSHIP 5 NORTH, RANGE 66 WEST OF THE 6TH P.M.,
CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO.

MATCHLINE - SEE SHEET 7



0 40' 80'
FEET
Scale: 1" = 40'

LOT 1
BEST WAY PARK MINOR 1ST
REPLAT
REC. NO. 4287176
OWNER: CITY OF GREELEY

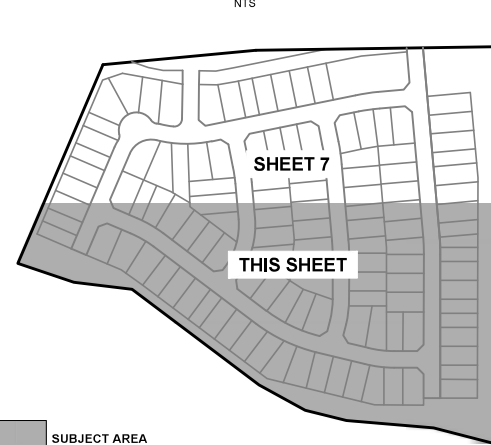
NOTES

1. GAS AND ELECTRIC ALIGNMENTS AND ASSOCIATED EASEMENTS SHOWN ARE PRELIMINARY. FINAL DESIGN TO BE COORDINATED WITH LOCAL UTILITY PROVIDER AT TIME OF CONSTRUCTION DOCUMENT PREPARATION.
2. AT THE TIME OF BROADVIEW ACRES TRAIL CONSTRUCTION, THE CITY OF GREELEY MAY CONTACT OWNER REQUESTING TEMPORARY CONSTRUCTION EASEMENTS. TEMPORARY CONSTRUCTION EASEMENTS WILL BE RESTRICTED TO BUFFER AREA 3 (BF3), USABLE OPEN SPACE 3 (US3), AND USABLE OPEN SPACE 4 (US4) SHOWN ON SHEET 2 OF THIS PRELIMINARY PUD.
3. ACCESS, WHETHER FOR EMERGENCY OR NON-EMERGENCY PURPOSES IS GRANTED OVER AND ACROSS ALL ACCESS WAYS FOR POLICE, FIRE AND EMERGENCY VEHICLES. IF ANY OR ALL OF THE ACCESS WAYS IN THIS SUBDIVISION ARE PRIVATE, THE HOMEOWNERS ASSOCIATION WILL BE RESPONSIBLE FOR ENSURING THAT SUCH ACCESS WAYS ARE PASSABLE, AT ALL TIMES, FOR POLICE, FIRE AND EMERGENCY VEHICLES.

EASEMENT LEGEND

	BOUNDARY LINE		PROPOSED CITY OF GREELEY WATER METER EASEMENT
	FEMA FLOOD PLAIN ZONE AE		PROPOSED CITY OF GREELEY WATER FIRE HYDRANT EASEMENT
	PROPOSED CHAMP REVISED ZONE AE		UTILITY CORRIDOR
	SECTION CORNER (AS NOTED)		PROPOSED CITY OF GREELEY DETENTION POND EASEMENT
	EXISTING EASEMENTS SEE PLAN FOR RECEPTION NUMBER		ACCESS, DRAINAGE, GRADING, UTILITY, LANDSCAPE, MONUMENTATION & CONSTRUCTION EASEMENT TO BE OBTAINED WITH FINAL PUD FROM OWNER
	PROPOSED 42' CITY OF GREELEY EMERGENCY ACCESS EASEMENT		PROPOSED PEDESTRIAN ACCESS EASEMENT
	PROPOSED CITY OF GREELEY WATER AND SANITARY SEWER EASEMENT		
	PROPOSED 8' ELECTRIC EASEMENT		

KEYMAP



LOT 1
BEST WAY PARK MINOR
REC. NO. 3687990
OWNER: V HOLDINGS LLC

CONSTRUCTION MUST BE IN ACCORDANCE WITH APPLICABLE CITY OF GREELEY CONSTRUCTION STANDARDS, EXCEPT AS THOSE DEVIATIONS SHOWN HEREIN. THE CITY'S ACCEPTANCE SHALL NOT RELIEVE THE DESIGN ENGINEER'S RESPONSIBILITY FOR ERRORS, OMISSIONS, OR DESIGN DEFICIENCIES FOR WHICH THE CITY IS HELD HARMLESS.

ACCEPTED BY: _____ DATE _____
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PRELIMINARY PUD
PRELIMINARY SITE PLAN 02

SHEET 8
8 OF 19
DATE: **May 11, 2020**
DRAWN BY: JCB
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PROJECT NO.: LINDASTBR-0001

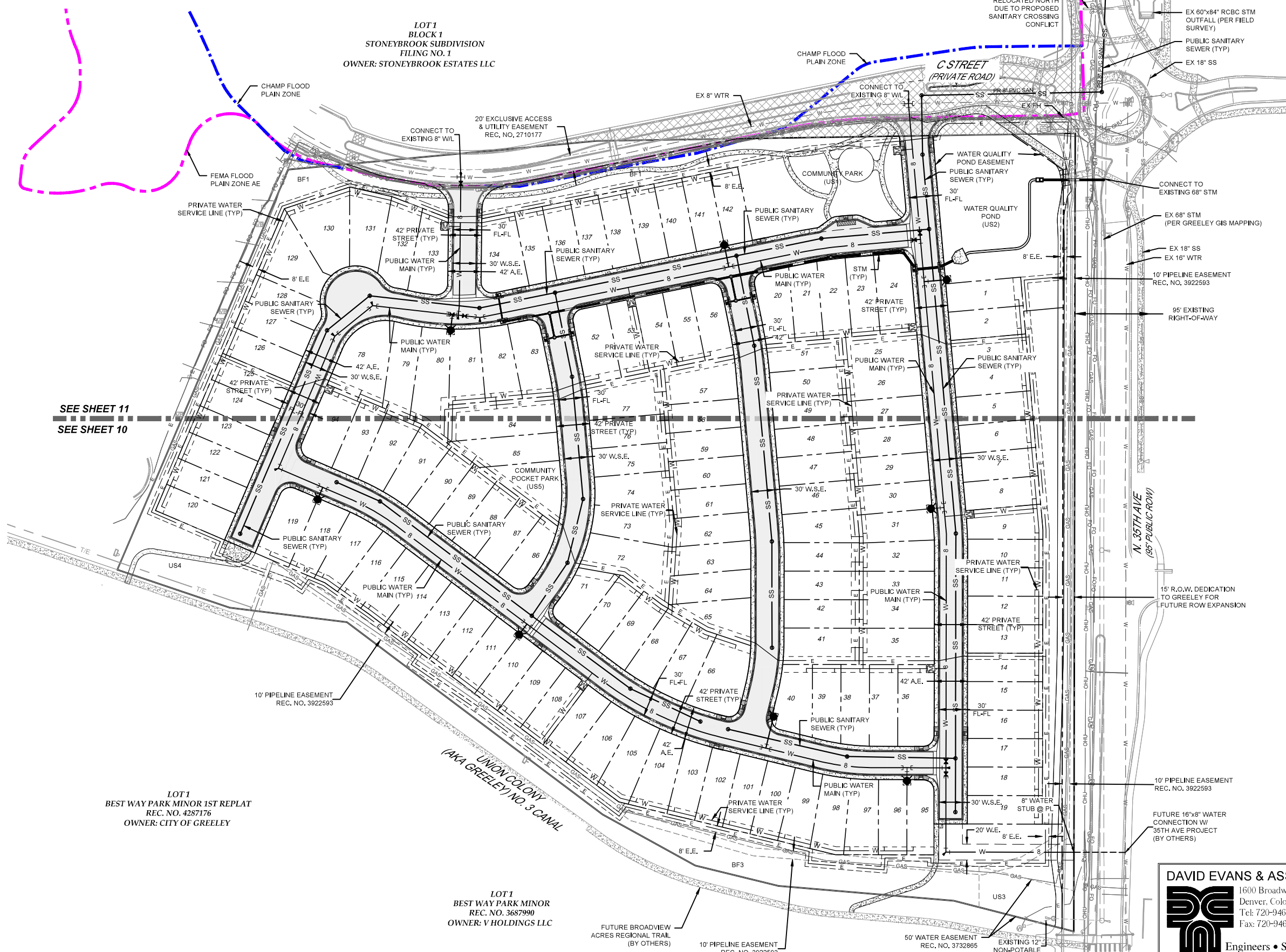
STONEBROOK SUBDIVISION FILING NO. 1 BLOCK 1 LOT 4 PRELIMINARY PUD

A PORTION OF THE NORTHEAST QUARTER (NE1/4)
OF SECTION 2, TOWNSHIP 5 NORTH, RANGE 66 WEST OF THE 6TH P.M.,
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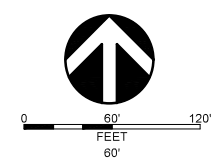
**LOT 1
BLOCK 1
STONEBROOK SUBDIVISION
FILING NO. 1
OWNER: STONEYBROOK ESTATES LLC**

LEGEND	
	BOUNDARY LINE
	FEMA FLOOD PLAIN AE
	PROPOSED CHAMP REVISED ZONE AE
	PROPOSED STORM SEWER
	PROPOSED STORM INLET/MANHOLE
	PROPOSED SANITARY SEWER
	PROPOSED SANITARY SEWER MANHOLE
	PROPOSED WATERLINE
	PROPOSED WATER METER
	PROPOSED FIRE HYDRANT
	PROPOSED ELECTRIC
	PROPOSED ASPHALT PAVEMENT

- NOTES**
- A.E. = PROPOSED CITY OF GREELEY EMERGENCY ACCESS EASEMENT.
 - W.S.E. = PROPOSED CITY OF GREELEY WATER AND SANITARY EASEMENT.
 - E.E. = PROPOSED ELECTRICAL EASEMENT.
 - W.E. = PROPOSED CITY OF GREELEY WATER EASEMENT.
 - PROPOSED WATER MAINS SHALL BE 8" PVC UNLESS OTHERWISE NOTED.
 - FIRE HYDRANT ASSEMBLIES ARE 6" DIP UNLESS OTHERWISE NOTED.
 - ALL PROPOSED SANITARY MAINS ARE MINIMUM 8" SDR 35.
 - SANITARY SERVICE LATERALS WILL BE PROVIDED TO INDIVIDUAL HOME SITES.
 - GAS AND ELECTRIC ALIGNMENTS AND ASSOCIATED EASEMENTS SHOWN ARE PRELIMINARY. FINAL DESIGN TO BE COORDINATED WITH LOCAL UTILITY PROVIDER AT TIME OF CONSTRUCTION DOCUMENT PREPARATION.
 - TRACER WIRE SHALL BE INSTALLED ON ALL UNDERGROUND FACILITIES IN ACCORDANCE WITH COLORADO REVISED STATE STATUTES.
 - ACCESS, WHETHER FOR EMERGENCY OR NON-EMERGENCY PURPOSES IS GRANTED OVER AND ACROSS ALL ACCESS WAYS FOR POLICE, FIRE AND EMERGENCY VEHICLES. IF ANY OR ALL OF THE ACCESS WAYS IN THIS SUBDIVISION ARE PRIVATE, THE HOMEOWNERS ASSOCIATION WILL BE RESPONSIBLE FOR ENSURING THAT SUCH ACCESS WAYS ARE PASSABLE, AT ALL TIMES, FOR POLICE, FIRE AND EMERGENCY VEHICLES.



SEE SHEET 11
SEE SHEET 10



CONSTRUCTION MUST BE IN ACCORDANCE WITH APPLICABLE CITY OF GREELEY CONSTRUCTION STANDARDS, EXCEPT AS THOSE DEVIATIONS SHOWN HEREIN. THE CITY'S ACCEPTANCE SHALL NOT RELIEVE THE DESIGN ENGINEER'S RESPONSIBILITY FOR ERRORS, OMISSIONS, OR DESIGN DEFICIENCIES FOR WHICH THE CITY IS HELD HARMLESS.

ACCEPTED BY: _____ ENGINEERING DEVELOPMENT REVIEW/CIVIL INSPECTIONS MANAGER DATE _____

**LOT 1
BEST WAY PARK MINOR 1ST REPLAT
REC. NO. 4287176
OWNER: CITY OF GREELEY**

**LOT 1
BEST WAY PARK MINOR
REC. NO. 3687990
OWNER: V HOLDINGS LLC**

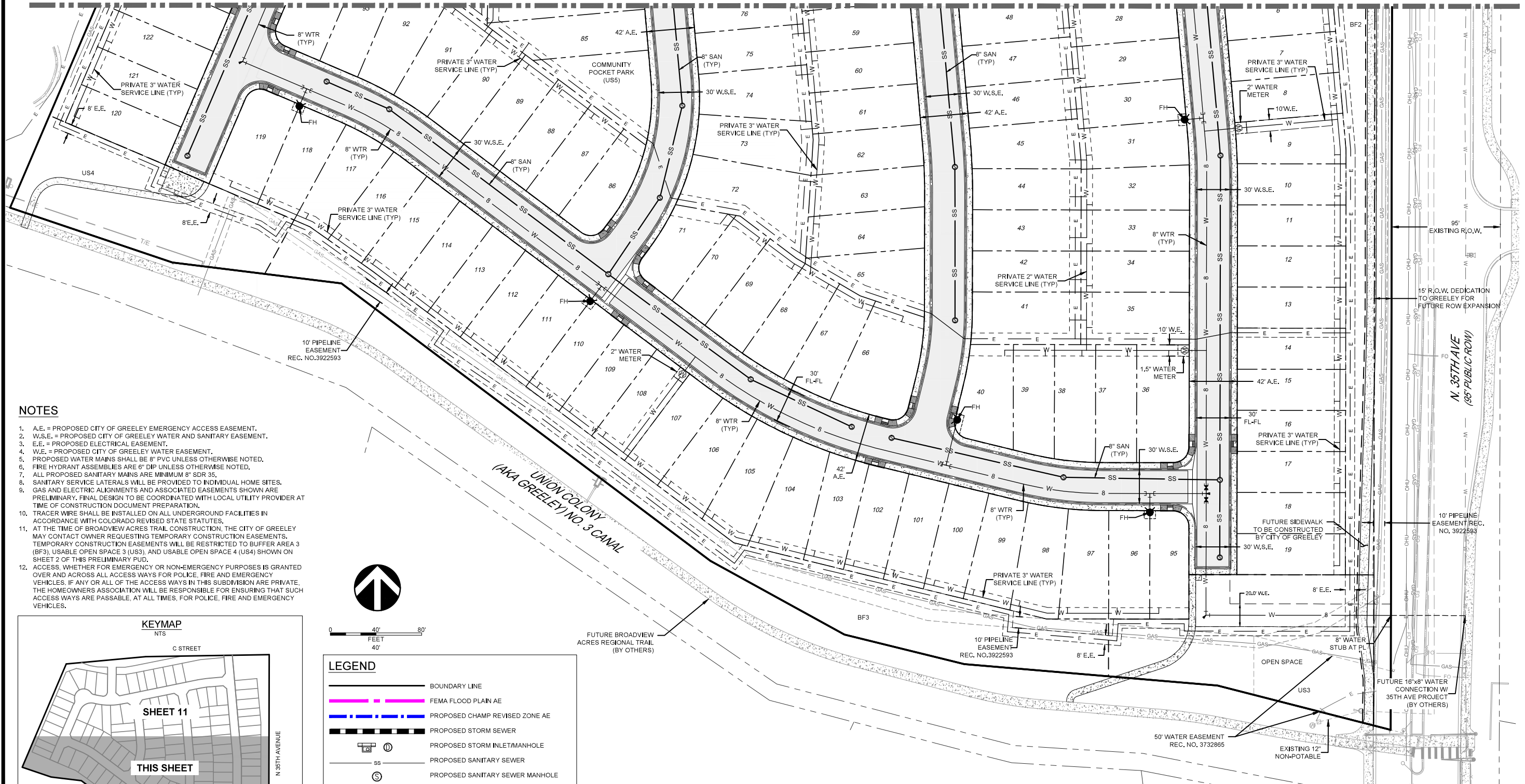
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Engineers • Surveyors • Planners

PRELIMINARY PUD
PRELIMINARY OVERALL UTILITY PLAN
SHEET 9
9 OF 19
DATE: **May 11, 2020**
DRAWN BY: JCB
CHECKED BY: MABU
PROJECT NO.: LINDASTBR-0001

STONEBROOK SUBDIVISION FILING NO. 1 BLOCK 1 LOT 4 PRELIMINARY PUD

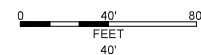
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OF SECTION 2, TOWNSHIP 5 NORTH, RANGE 66 WEST OF THE 6TH P.M.,
CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO.

MATCHLINE - SEE SHEET 11



NOTES

1. A.E. = PROPOSED CITY OF GREELEY EMERGENCY ACCESS EASEMENT.
2. W.S.E. = PROPOSED CITY OF GREELEY WATER AND SANITARY EASEMENT.
3. E.E. = PROPOSED ELECTRICAL EASEMENT.
4. W.E. = PROPOSED CITY OF GREELEY WATER EASEMENT.
5. PROPOSED WATER MAINS SHALL BE 8" PVC UNLESS OTHERWISE NOTED.
6. FIRE HYDRANT ASSEMBLIES ARE 6" DIP UNLESS OTHERWISE NOTED.
7. ALL PROPOSED SANITARY MAINS ARE MINIMUM 8" SDR 35.
8. SANITARY SERVICE LATERALS WILL BE PROVIDED TO INDIVIDUAL HOME SITES.
9. GAS AND ELECTRIC ALIGNMENTS AND ASSOCIATED EASEMENTS SHOWN ARE PRELIMINARY, FINAL DESIGN TO BE COORDINATED WITH LOCAL UTILITY PROVIDER AT TIME OF CONSTRUCTION DOCUMENT PREPARATION.
10. TRACER WIRE SHALL BE INSTALLED ON ALL UNDERGROUND FACILITIES IN ACCORDANCE WITH COLORADO REVISED STATE STATUTES.
11. AT THE TIME OF BROADVIEW ACRES TRAIL CONSTRUCTION, THE CITY OF GREELEY MAY CONTACT OWNER REQUESTING TEMPORARY CONSTRUCTION EASEMENTS. TEMPORARY CONSTRUCTION EASEMENTS WILL BE RESTRICTED TO BUFFER AREA 3 (BF3), USABLE OPEN SPACE 3 (US3), AND USABLE OPEN SPACE 4 (US4) SHOWN ON SHEET 2 OF THIS PRELIMINARY PUD.
12. ACCESS, WHETHER FOR EMERGENCY OR NON-EMERGENCY PURPOSES IS GRANTED OVER AND ACROSS ALL ACCESS WAYS FOR POLICE, FIRE AND EMERGENCY VEHICLES. IF ANY OR ALL OF THE ACCESS WAYS IN THIS SUBDIVISION ARE PRIVATE, THE HOMEOWNERS ASSOCIATION WILL BE RESPONSIBLE FOR ENSURING THAT SUCH ACCESS WAYS ARE PASSABLE, AT ALL TIMES, FOR POLICE, FIRE AND EMERGENCY VEHICLES.

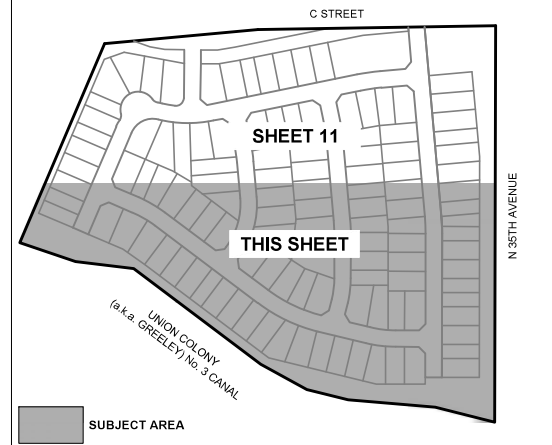


LEGEND

- BOUNDARY LINE
- FEMA FLOOD PLAIN AE
- PROPOSED CHAMP REVISED ZONE AE
- PROPOSED STORM SEWER
- PROPOSED STORM INLET/MANHOLE
- PROPOSED SANITARY SEWER
- PROPOSED SANITARY SEWER MANHOLE
- PROPOSED WATERLINE
- PROPOSED WATER METER
- PROPOSED FIRE HYDRANT
- PROPOSED ELECTRIC
- PROPOSED ASPHALT PAVEMENT

KEYMAP

NTS



FUTURE BROADVIEW ACRES REGIONAL TRAIL (BY OTHERS)

CONSTRUCTION MUST BE IN ACCORDANCE WITH APPLICABLE CITY OF GREELEY CONSTRUCTION STANDARDS, EXCEPT AS THOSE DEVIATIONS SHOWN HEREIN. THE CITY'S ACCEPTANCE SHALL NOT RELIEVE THE DESIGN ENGINEER'S RESPONSIBILITY FOR ERRORS, OMISSIONS, OR DESIGN DEFICIENCIES FOR WHICH THE CITY IS HELD HARMLESS.

ACCEPTED BY: _____ DATE _____
ENGINEERING DEVELOPMENT REVIEW/CIVIL INSPECTIONS MANAGER

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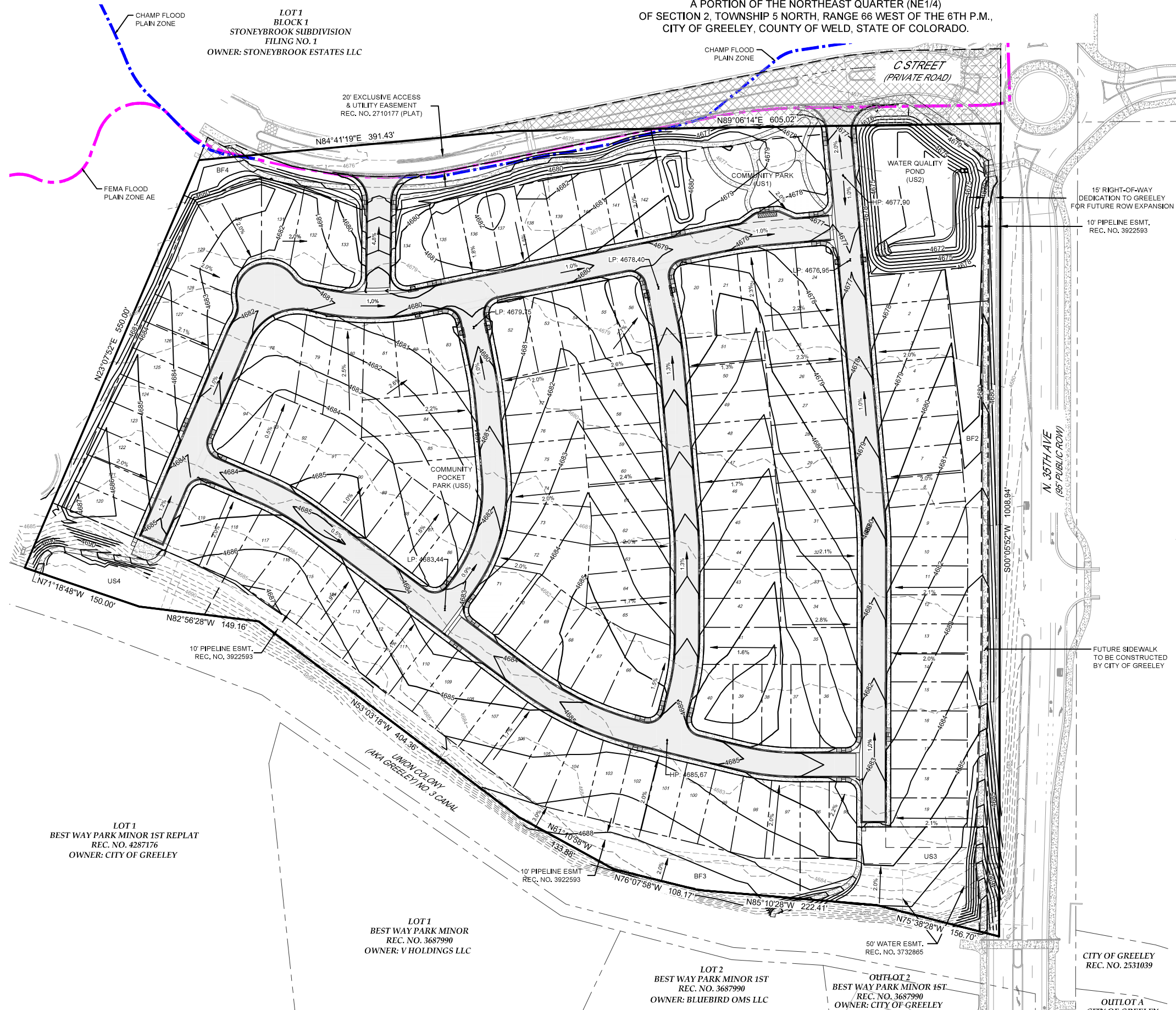
PRELIMINARY PUD
PRELIMINARY UTILITY PLAN 01

SHEET 10
10 OF 19
DATE: **May 11, 2020**
DRAWN BY: JCB
CHECKED BY: **MABU**
PROJECT NO.: **INDASTBR-0001**

STONEBROOK SUBDIVISION FILING NO. 1 BLOCK 1 LOT 4 PRELIMINARY PUD

A PORTION OF THE NORTHEAST QUARTER (NE1/4)
OF SECTION 2, TOWNSHIP 5 NORTH, RANGE 66 WEST OF THE 6TH P.M.,
CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO.

LOT 1
BLOCK 1
STONEBROOK SUBDIVISION
FILING NO. 1
OWNER: STONEYBROOK ESTATES LLC



NOTE
1. STONEYBROOK LOT 4 AS SHOWN HEREIN IS A LAND LEASE COMMUNITY. EACH HOME SITE REPRESENTS A FUTURE AND SEPARATE LAND LEASE AREA.

GRADING LEGEND

- BOUNDARY LINE
- - - 46XX - - - EXISTING MAJOR CONTOUR (1-FT)
- - - 46XX - - - EXISTING MINOR CONTOUR (1-FT)
- 46XX — PROPOSED MAJOR CONTOUR (1-FT)
- 46XX — PROPOSED MINOR CONTOUR (1-FT)
- FEMA FLOODPLAIN AE
- PROPOSED CHAMP REVISED AE
- LP: 46XX,XX' LOW POINT ELEVATION
- HP: 46XX,XX' HIGH POINT ELEVATION
- XX,X% SLOPE

EARTHWORK SUMMARY TABLE

CUT (CY)	FILL (CY)	NET (CY)
4,615	51,868	47,253 (FILL)

NOTES:
1. EARTHWORK VALUES DO NOT INCLUDE SHRINK/SWELL FACTORS.
2. EARTHWORK VALUES ARE A DIRECT COMPARISON BETWEEN THE EXISTING GROUND SURFACE AND PROPOSED FINISHED GRADE SURFACE.
3. EARTHWORK VALUES DO NOT ACCOUNT FOR FOUNDATIONS, PAVEMENT SECTIONS OR UTILITY TRENCHES

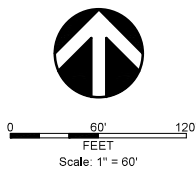
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PRELIMINARY PUD
PRELIMINARY DRAINAGE & GRADING PLAN

SHEET 12
12 OF 19
DATE: **May 11, 2020**
DRAWN BY: JCB
CHECKED BY: MABU
PROJECT NO.: LNDASTBR-0001



STONEYBROOK SUBDIVISION FILING NO. 1 BLOCK 1 LOT 4 PRELIMINARY PUD

A PORTION OF THE NORTHEAST QUARTER (NE1/4)
OF SECTION 2, TOWNSHIP 5 NORTH, RANGE 66 WEST OF THE 6TH P.M.,
CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO.

COMMUNITY AMENITY LOCATIONS	
LOCATION	AMENITY
①	- PLAYGROUND & GRASS PLAY AREA - SHELTER - GRILLS & TABLES
②	- SMALL SOCCER FIELD WITH SLEEVE MOUNTED GOALS
③	- BIKE MAINTENANCE STATION - TABLES & SMALL CHILD PLAY PARK
④	- TRAIL CONNECTION TO BROADVIEW ACRES TRAIL
⑤	- COUNCIL RING FEATURE / SEATING - HORSESHOE PITS

- SEE SHEET 14 COMMUNITY AMENITY DETAILS FOR ACTIVE OPENSOURCE AREAS.
- EACH AMENITY, EXCLUDING TRAIL CONNECTIONS SHALL REPRESENT NINE HUNDRED AND TWENTY-ONE (921) SQUARE FOOT CREDIT TOWARDS THE COMMUNITIES REQUIRED USEABLE OPEN SPACE AREA
- THE TWO CONNECTIONS TO THE BROADVIEW ACRES TRAIL SHALL REPRESENT A COMBINED FOUR HUNDRED, SIXTY AND ONE-HALF (460.5) SQUARE FOOT CREDIT

BUFFER AREA 2	
STANDARD APPLIED	ARTERIAL BUFFER YARD A (18.44-5)
LENGTH	980 OR 9.8 UNITS OF 100'
PLANTING TYPES	REQUIRED
SHADE OR ORNAMENTAL TREE	10
EVERGREEN TREE	10
LARGE AND MEDIUM SHRUBS	20 (LARGE) 40 (MEDIUM)
	OR
SMALL SHRUBS	117

ALL EXISTING TREES LOCATED ADJACENT TO 35TH AVENUE WILL BE REMOVED. THE CITY OF GREELEY HAS RELOCATED A NUMBER OF THESE TREES TO OFF-SITE LOCATIONS. A TOTAL 20 TREES WERE RELOCATED. AS SUCH IT IS IMPRACTICAL TO DETERMINE REPLACEMENT VALUES AT THE TIME OF PRELIMINARY PUD. HOWEVER, THE TOTAL NUMBER OF FUTURE TREES TO BE PLANTED IN THE STONEYBROOK COMMUNITY (BOTH ON HOME SITES AND IN OPEN SPACE AREAS) WILL SURPASS 200 TREES WHICH MORE THAN SATISFIES THE POTENTIAL REPLACEMENT VALUE OF THE TREES REMOVED.

SITE NOTES

- THE COMMUNITY IS REQUIRED TO HAVE A MINIMUM OF TWO (2) NEIGHBORHOOD IDENTITY FEATURES BASED ON THE PROPOSED TOTAL NUMBER OF DWELLING UNITS (51 TO 150 DWELLING UNITS = 2 FEATURES). THIS PLAN PROPOSES THE FOLLOWING 2 FEATURES TO COUNT TOWARDS THIS REQUIREMENT.
 - COMMUNITY PARK - (1) FEATURE
 - PLAYGROUND IN COMMUNITY PARK - (1) FEATURE
- ADDITIONAL COMMUNITY WAYFINDING FEATURES INCLUDE INSTALLATION OF TWO (2) SIGNS (ONE AT EACH ENTRANCE) FOR VISITOR & EMERGENCY WAYFINDING PURPOSES, (SEE SHEET 17 FOR DETAILS & SHEET 2 FOR DEFINITIONS & DEVIATIONS)
- EACH HOMESITE WILL DEPICT A SIGN POSTED ON THE FRONT OF EACH STRUCTURE FOR IDENTIFICATION, (SEE SHEET 17 FOR DETAILS & SHEET 2 FOR DEFINITIONS & DEVIATIONS)
- IDENTITY FEATURES (COMMUNITY PARK, WAYFINDING SIGNS, HOMESITE SIGNS, AND PLAYGROUNDS) WHETHER PROPOSED WITH THIS PRELIMINARY PLAN ARE TO COUNT TOWARDS THE TOTAL FEATURES REQUIRED FOR ENTIRE P.U.D. (SEE SHEET 17 FOR DETAILS & SHEET 2 FOR DEFINITIONS & DEVIATIONS)
- PER THE DEVELOPMENT CODE ALL HEALTHY TREE'S (EXCLUDING SIBERIAN ELM LOCATED ALONG 35TH STREET) ARE TO BE PRESERVED, UNLESS OTHERWISE NOT PRACTICAL. IN THE EVENT A HEALTHY TREE HAS TO BE REMOVED IT WILL BE REPLACED BASED ON THE CALIPER OF THE TREE REMOVED. SEE THIS SHEET AND TABLE 18.44-6 IN GREELEY'S DEVELOPMENT CODE FOR REPLACEMENT VALUES.
- NOTE: THE LOCATION OF NEW VEGETATION SHOWN ON SHEET 13 IS CONCEPTUAL ONLY. REQUIRED BUFFER AND PERIMETER TREATMENTS WILL BE PROVIDED PER THE TABLES SHOWN ON THIS SHEET. FLEXIBILITY ON PLANTING LOCATIONS ALONG PROPERTY BOUNDARIES WILL BE ALLOWED TO ACCOMMODATE FINAL DESIGN.
- NO PLANT MATERIAL WITH MATURE GROWTH GREATER THAN THREE (3) FEET IN HEIGHT SHALL BE PLANTED WITHIN POTABLE WATER, SANITARY SEWER, OR NON-POTABLE IRRIGATION EASEMENTS.
- NO SHRUBS SHALL BE PLANTED WITHIN FIVE (5) FEET OR TREES WITHIN TEN (10) FEET OF POTABLE AND NON-POTABLE WATER METERS, FIRE HYDRANTS, SANITARY SEWER MANHOLES, OR POTABLE WATER, SANITARY SEWER, AND NON-POTABLE IRRIGATION MAINS AND SERVICES.
- IN THOSE AREAS WHERE USEABLE OPEN SPACE IS LOCATED WITHIN AREAS OTHERWISE GOVERNED BY BUFFER YARD STANDARDS, BUFFER YARD STANDARDS SHALL APPLY. BUFFER AREA 1 & BUFFER AREA 3 BOUNDARIES SHALL ADHERE TO "BUFFER YARD A STANDARDS" WITH EXISTING AND MATURE, HEALTHY TREES WITHIN THE AREA COUNTING TOWARDS THE DEFINED "BUFFER YARD A STANDARDS". THE PORTION OF THE EASTERN PUD BOUNDARY ADJACENT TO NORTH 35TH AVENUE (BUFFER AREA 2) SHALL ADHERE TO "ARTERIAL BUFFER STANDARDS."
- THE LOCATION OF PLANTINGS SHOWN ARE CONCEPTUAL AND MAYBE ADJUSTED AS NECESSARY DURING FINAL PUD DEVELOPMENT

BUFFER AREA 1	
STANDARD APPLIED	BUFFER YARD A (18.44-1)
LENGTH	846 OR 8.46 UNITS OF 100'
AVERAGE WIDTH	35'
MULTIPLIER	0.80
PLANTING TYPES	REQUIRED
SHADE TREE	7
ORNAMENTAL TREE OR TYPE 3 SHRUB	7
TYPE 1 SHRUB	34

STONEYBROOK COMMUNITY
(EXISTING MANUFACTURED HOME COMMUNITY)

BUFFER AREA 4

M1	12"	2
M2	10"	2
M3	12"	2
M4	6"	1
M5	10"	2
M6	60"	4
M7	8"	2
M8	10"	2
M9	48"	4
M10	36"	4
M11	48"	4
TOTAL		27 TREES

BUFFER AREA 3	
STANDARD APPLIED	BUFFER YARD A (18.44-10)
LENGTH	1,123 OR 11.2 UNITS OF 100'
AVERAGE WIDTH	53'
MULTIPLIER	0.80
PLANTING TYPES	REQUIRED
SHADE TREE	9
ORNAMENTAL TREE OR TYPE 3 SHRUB	9
TYPE 1 SHRUB	45

EASEMENT LEGEND

HOMESITE LINES	PROPOSED PEDESTRIAN ACCESS EASEMENT
6" CONCRETE EDGER	PROPOSED STORM SEWER
EXISTING EASEMENTS SEE PLAN FOR RECEPTION NUMBER	PROPOSED SANITARY SEWER
PROPOSED 30' CITY OF GREELEY ACCESS, WATER AND SANITARY EASEMENT	PROPOSED WATER LINE
PROPOSED UTILITY EASEMENTS (SEE UTILITY SHEETS FOR MORE DETAILED INFORMATION)	PROPOSED ELECTRIC
ACCESS, DRAINAGE, GRADING, UTILITY, LANDSCAPE, MONUMENTATION & CONSTRUCTION EASEMENT TO BE OBTAINED FROM C STREET OWNER	FUTURE BROADVIEW ACRES TRAIL (BY OTHERS)
	EXISTING TREE TO BE REMOVED.

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ACCEPTED BY: _____ DATE _____
COMMUNITY DEVELOPMENT DIRECTOR

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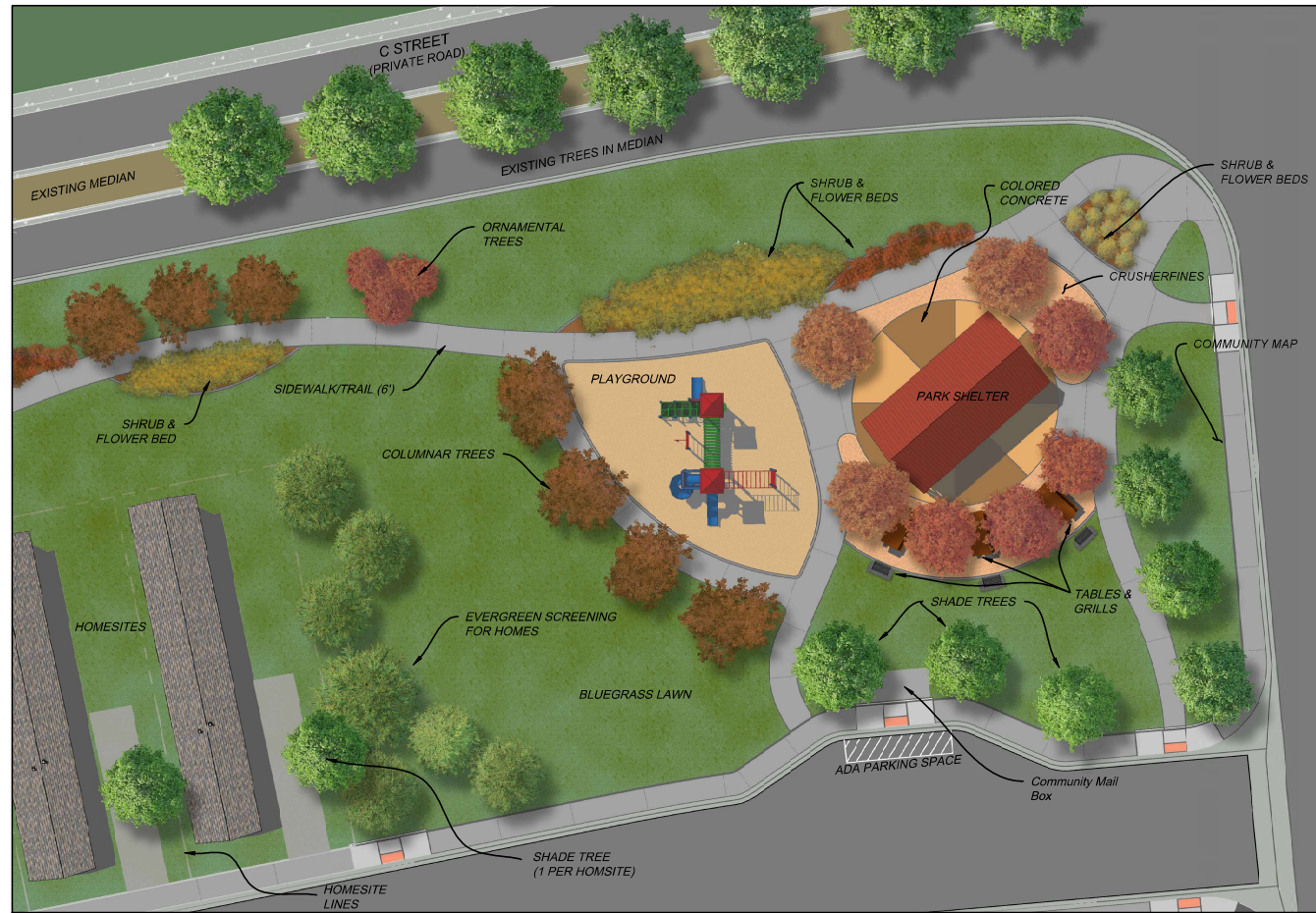
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PRELIMINARY PUD
PRELIMINARY
LANDSCAPE PLAN

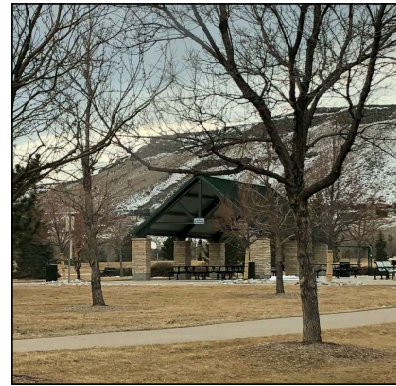
SHEET 13
13 of 19
DATE: May 11, 2020
DRAWN BY: JCB
CHECKED BY: MABU
PROJECT NO.: LNDASTBR-0001

STONEYBROOK SUBDIVISION FILING NO. 1 BLOCK 1 LOT 4 PRELIMINARY PUD

A PORTION OF THE NORTHEAST QUARTER (NE1/4)
OF SECTION 2, TOWNSHIP 5 NORTH, RANGE 66 WEST OF THE 6TH P.M.,
CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO.



COMMUNITY PARK
NTS



PARK SHELTER W/GRILLS



PICNIC TABLES



PLAYGROUND



ALL IMAGES & RENDERINGS ARE CONCEPTUAL AND SUBJECT TO CHANGE DURING FINAL PUD

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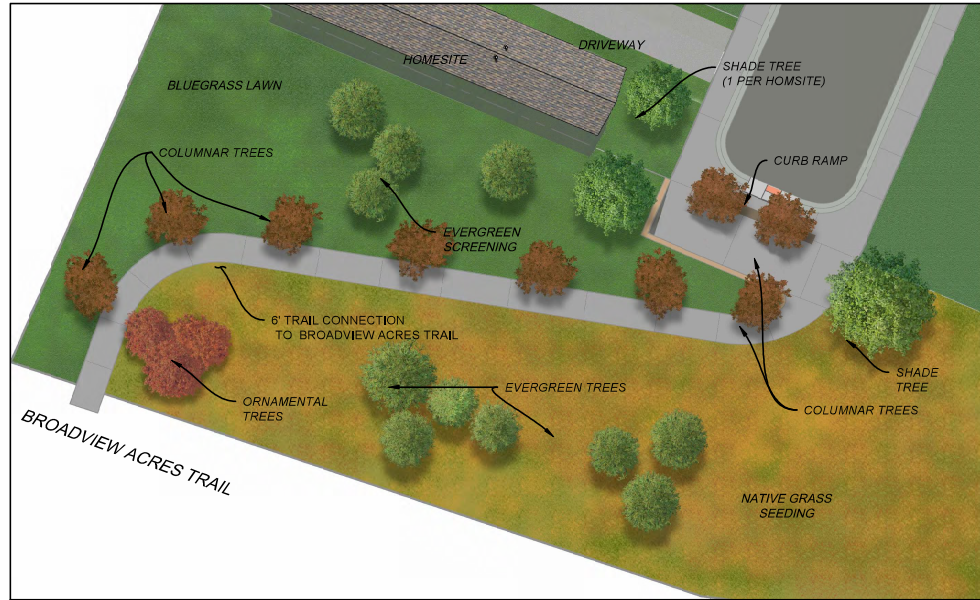
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PRELIMINARY PUD
PRELIMINARY LANDSCAPE AMENITY DETAILS 01

SHEET 14
14 of 19
DATE: **May 11, 2020**
DRAWN BY: JCB
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PROJECT NO.: LNDASTBR-0001

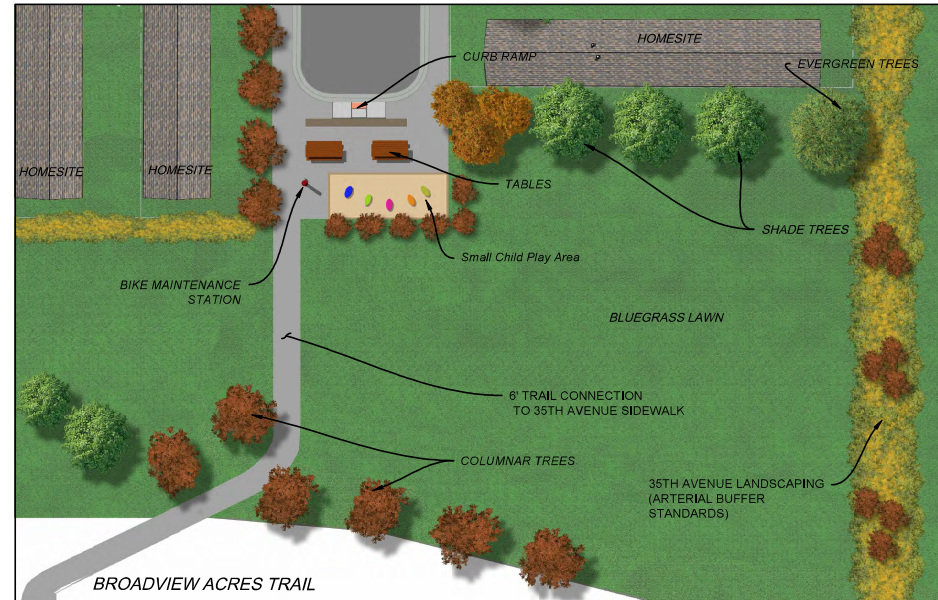
STONEYBROOK SUBDIVISION FILING NO. 1 BLOCK 1 LOT 4 PRELIMINARY PUD

A PORTION OF THE NORTHEAST QUARTER (NE1/4)
OF SECTION 2, TOWNSHIP 5 NORTH, RANGE 66 WEST OF THE 6TH P.M.,
CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO.



SOUTHWEST BROADVIEW ACRES TRAIL ACCESS

NTS



SOUTHEAST BROADVIEW ACRES TRAIL ACCESS

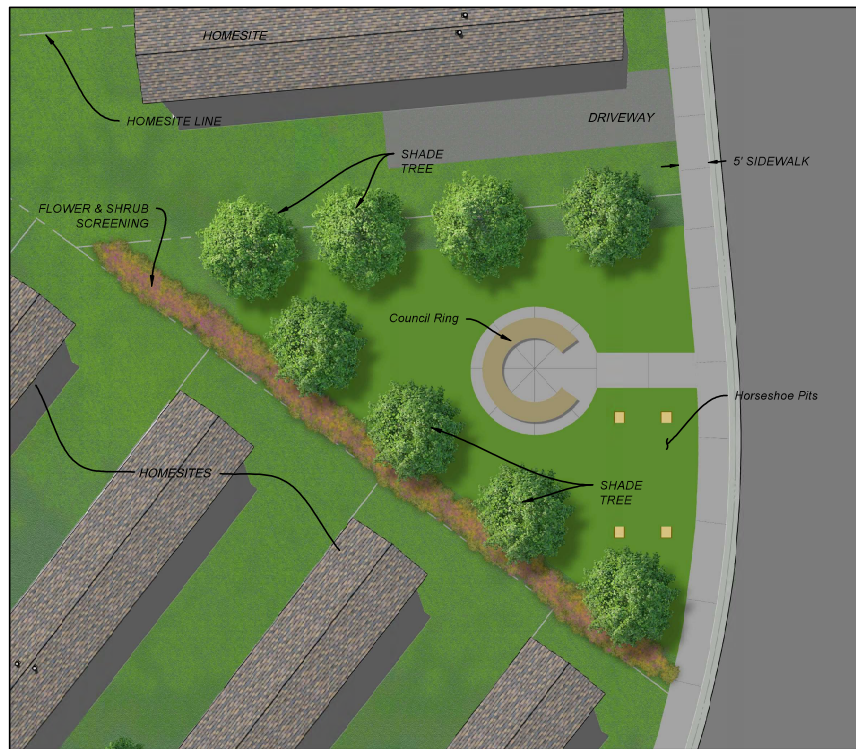
NTS



PARK BENCH



BIKE REPAIR STATION



COMMUNITY POCKET PARK

NTS



COUNCIL RING

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COMMUNITY DEVELOPMENT DIRECTOR

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PRELIMINARY PUD
PRELIMINARY LANDSCAPE AMENITY DETAILS 02

SHEET 15
15 of 19
DATE: **May 11, 2020**
DRAWN BY: **JCB**
CHECKED BY: **MABU**
PROJECT NO.: **LNDASTBR-0001**

STONEBROOK SUBDIVISION FILING NO. 1 BLOCK 1 LOT 4 PRELIMINARY PUD

A PORTION OF THE NORTHEAST QUARTER (NE1/4)
OF SECTION 2, TOWNSHIP 5 NORTH, RANGE 66 WEST OF THE 6TH P.M.,
CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO.

LANDSCAPE NOTES

- ALL BUFFER AREAS ALONG C STREET AND NORTH 35TH AVENUE TO BE SOD UNLESS OTHERWISE SPECIFIED.
- ALL HOMESITE TREES AND LANDSCAPING TO BE INSTALLED BY THE BUILDER NO LATER THAN ONE (1) YEAR AFTER ISSUANCE OF CERTIFICATE OF OCCUPANCY FOR EACH HOME.
- TREES SHALL NOT BE PLANTED WITHIN 10' OF WATER, SEWER, OR STORM SEWER MAINS. TREE LOCATIONS (BUT NOT QUANTITIES) MAY BE ADJUSTED IF REQUIRED TO RESOLVE UTILITY SERVICE OR STREET LIGHTING CONFLICTS.
- NATIVE SEED AREAS TO BE SEEDED WITH MIXES SHOWN BELOW.
- WHERE BARE GRADED CONDITIONS CREATE DRAINAGE SWALES, THE AREA IS TO BE SEEDED PER THE PLAN AND OVER-SEEDED WITH A LIGHTER RATE OF THE MOIST SWALE SEED MIX.
- ALL TREE AND SHRUB SPECIES SHALL BE SELECTED ACCORDING TO THE CITY OF GREELEY DEVELOPMENT CODE APPENDIX 18-D -TREE, SHRUB, AND GROUND COVER LIST.
- ALL LANDSCAPING IN PRIVATE TRACTS TO BE MAINTAINED BY THE HOA. ALL TREE LAWNS IN RIGHT-OF-WAY TO BE MAINTAINED BY HOA. LANDSCAPING AND OTHER IMPROVEMENTS WITHIN PUBLIC REGIONAL TRAIL EASEMENTS AND MULTI-MODAL TRAIL EASEMENTS TO BE MAINTAINED BY CITY OF GREELEY.
- ALL TRAILS IN OPEN SPACE SHALL BE A MINIMUM OF SIX FEET IN WIDTH.
- FENCES ARE NOT PERMITTED BETWEEN HOMESITES OR ALONG THE PERIMETER OF THE COMMUNITY.
- "BUFFER YARD A" STANDARDS WILL BE MET IN BUFFER AREA 1 AND BUFFER AREA 3.
- ARTERIAL PERIMETER TREATMENT STANDARDS WILL BE MET ALONG THE 35TH AVENUE FRONTAGE. SEE SHEET 3 FOR DEFINITIONS & DEVIATIONS.
- LOCATION OF NEW VEGETATION/PLANTINGS IS CONCEPTUAL ONLY. FLEXIBILITY ON PLANTING LOCATIONS WILL BE ALLOWED TO ACCOMMODATE FINAL DESIGN.

SEEDING

ALL PREPARED AREAS, NEED TO BE FIRM, BUT NOT COMPACTED, PRIOR TO SEED APPLICATION.

BLUEGRASS AREAS

- SOW BLUEGRASS MIX AT RATE OF 5 LBS. PER 1,000 SQUARE FEET.
- SOW TURF GRASS USING MECHANICAL TYPE 3 DRILL, (BRILLION) SEEDING MACHINE FOR SLOPES 4:1 AND FLATTER.
 - DISTRIBUTE SEED EVENLY OVER ENTIRE AREA BY SOWING EQUAL QUANTITIES IN TWO DIRECTIONS AT RIGHT ANGLES OF EACH OTHER
 - FOR AREAS INACCESSIBLE TO SEEDING MACHINES USE BROADCAST METHOD. SEE BLUEGRASS SPECIES TABLE BELOW.

BLUEGRASS SPECIES/VARIETY

SPECIES	POUNDS PER ACRE - PURE LIVE SEED
KENTUCKY BLUEGRASS, MOONLIGHT	65.1
KENTUCKY BLUEGRASS, NORTHSTAR	65.1
KENTUCKY BLUEGRASS, QUANTUM	65.1
PERENNIAL RYEGRASS	21.7

NATIVE AREAS

- SEED THE LISTED VARIETIES IN THE AREAS DESIGNATED ON THE DRAWINGS.
- ALL SEED IS TO BE DRILLED 0.25 INCH TO 0.50 INCH INTO THE SOIL AT THE SPECIFIED LBS/ACRE RATE LISTED IN THE SEED MIX TABLES BELOW, WITH A MECHANICAL, POWER DRAWN DRILL SEEDER, ROWS SHALL BE SPACED NOT MORE THAN EIGHT INCHES (8") APART.
- THE CONTRACTOR SHALL DRILL EQUAL QUANTITIES IN TWO DIRECTIONS AT RIGHT ANGLES OF EACH OTHER.
- SEEDING RATES NEED TO BE INCREASED 50% ON SLOPES 6:1 OR STEEPER.
- SEEDING RATES NEED TO BE INCREASED 100% FOR AREAS THAT ARE SEEDED BY HAND BROADCASTING.

LOW GROW MIX

USE A MINIMUM 8 FEET WIDE ON SIDES OF PATHWAYS. USE AT PROPERTY LINES ABUTTING RESIDENTIAL PROPERTIES. USE IN OPEN SPACE WHERE SHORT GRASSES ARE DESIRED.

SPECIES	POUNDS PER ACRE - PURE LIVE SEED
BUFFALO GRASS	8.0
BLUE GRAMMA	6.5

SLOPE MIX

USED ON ALL SLOPES AND BERMS.

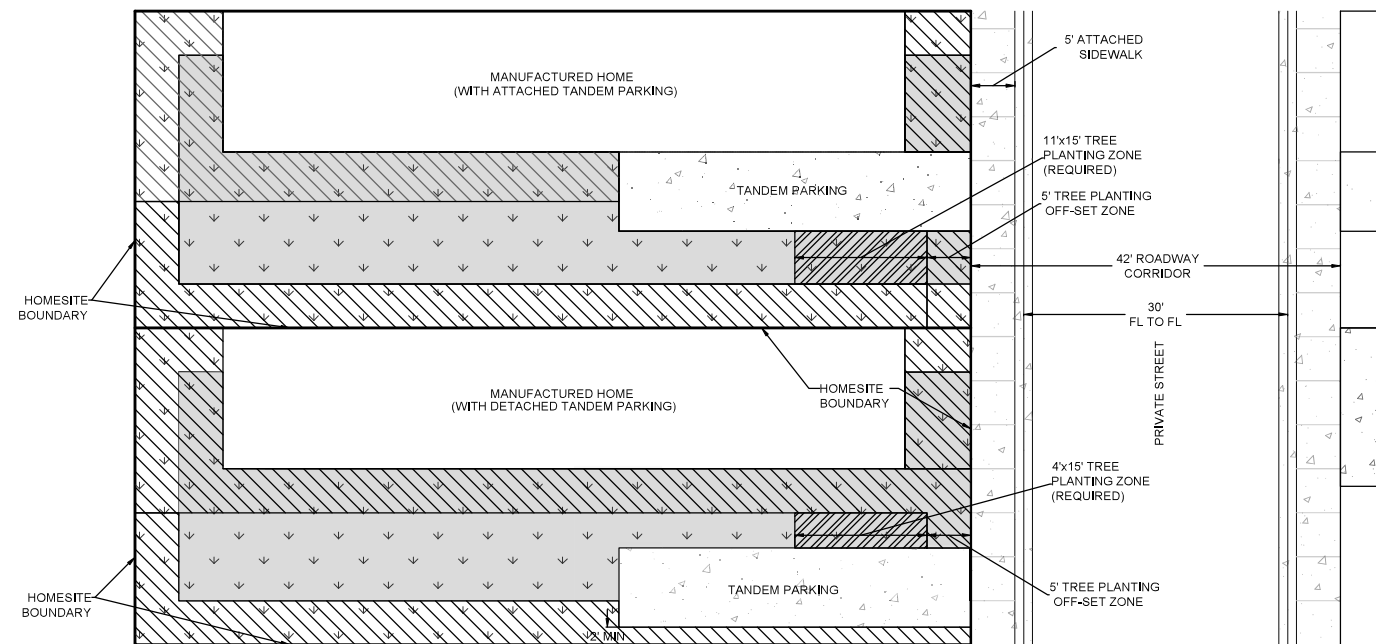
SPECIES	POUNDS PER ACRE - PURE LIVE SEED
SIDE OATS GRAMMA	4.0
BLUE GRAMMA	4.0
LITTLE BLUESTEM	4.0
SAND DROPSEED	0.12
STREAM BANK GRASS	8.0

POND MIX

USED IN AND AROUND DETENTION/RETENTION PONDS, AND IN AREAS THAT ARE DESIGNED TO HOLD WATER, BUT ARE NOT NECESSARILY WET THE MAJORITY OF THE TIME.

SPECIES	POUNDS PER ACRE - PURE LIVE SEED
LITTLE BLUESTEM	2.0
YELLOW INDIAN GRASS	2.0
SWITCHGRASS	1.0
BLUE GRAMMA	0.6
SIDE OATS GRAMMA	3.0
PRAIRIE SANDREED	1.5
WESTERN WHEATGRASS	4.0
STREAM BANK GRASS	5.0

HOMESITE LANDSCAPING

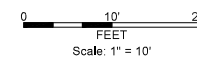


ALLOWABLE TURF AREA		TURF SHALL BE PLACED AS SOD WITHIN ONE YEAR OF PLACEMENT OF STRUCTURES ON HOME SITES
CONCRETE SURFACE		CONCRETE SIDEWALK AND PARKING
HOMESITE AREA AVAILABLE FOR PLANTINGS		INDIVIDUAL PLANTING AREAS ARE ALLOWED ON EACH HOME SITE AND SHALL NOT BE LOCATED WITHIN 5' OF ADJOINING LOT LINES
REQUIRED SHADE TREE PLANTING ZONE		ONE 2" CALIPER (MEASURED 1' ABOVE GRADE) CALIPER SHADE TREE SHALL BE PLANTED NO MORE THAN 20' FROM BACK OF SIDEWALK AND NO LESS THAN 5' FROM BACK OF SIDEWALK.
NO TREE PLANTING ZONE		ADDITIONAL TREES ARE PERMITTED ON HOME SITES AND MAY BE PLANTED NO CLOSER THAN 5' IN DISTANCE FROM ADJOINING HOME SITE LINES AND SHALL NOT BE PLANTED WITHIN 10' OF UTILITY SERVICE LINES. REQUIRED TREES SHALL BE PLANTED BY THE BUILDER OR LANDOWNER WITHIN ONE YEAR OF PLACEMENT OF STRUCTURES ON HOME SITE AND SHALL BE SELECTED FROM THE CITY OF GREELEY'S APPROVED SELECTION OF SPECIES. TREES ARE NOT TO BE PLANTED CLOSER THAN 5 FEET FROM THE FOLLOWING: REAR OF HOMESITE, MANUFACTURED HOME, OR SIDEWALK TO PREVENT ANY POTENTIAL DISTURBANCE TO THE CONCRETE FOUNDATIONS AND UTILITIES.

HOMESITE LANDSCAPING NOTES:

ALL HOMESITES SHALL BE LANDSCAPED WITHIN ONE (1) YEAR OF UNIT PLACEMENT. INITIAL LANDSCAPING INSTALLATION SHALL BE THE RESPONSIBILITY OF THE BUILDER, ONCE INSTALLED, IRRIGATION AND MAINTENANCE OF LANDSCAPING IS THE SOLE RESPONSIBILITY OF THE OWNER, SUCCESSOR OR ASSIGNS. MINIMUM LANDSCAPING FOR EACH HOME SITE IS AS FOLLOWS:

- ONE (1) TWO (2") INCH MINIMUM CALIPER SHADE TREE PLANTED IN DESIGNATED AREA SHOWN IN EXHIBIT HEREON.
- THE REMAINING AREA (OUTSIDE OF THE BUILDING FOOTPRINT, PATIO, DECK, AND PARKING PAD) MUST BE PLANTED WITH LIVING ELEMENTS SUCH AS SOD LAWNS OR GARDENS. ALL HOMESITES MUST BE KEPT FREE OF BARE DIRT AND/OR WEEDS.
- SEE SHEET 4 ALLOWABLE PARKING PAD LOCATIONS.



COMPANION CROP

ADD THE APPROPRIATE COMPANION CROP TO THE NATIVE SEED MIXES TO BE PLANTED.

SPECIES	POUNDS PER ACRE - PURE LIVE SEED
SPRING PLANTING: OATS	8.0
FALL PLANTING: WINTER WHEAT	6.5

CONSTRUCTION MUST BE IN ACCORDANCE WITH APPLICABLE CITY OF GREELEY CONSTRUCTION STANDARDS, EXCEPT AS THOSE DEVIATIONS SHOWN HEREIN. THE CITY'S ACCEPTANCE SHALL NOT RELIEVE THE DESIGN ENGINEER'S RESPONSIBILITY FOR ERRORS, OMISSIONS, OR DESIGN DEFICIENCIES FOR WHICH THE CITY IS HELD HARMLESS.

ACCEPTED BY: _____ DATE _____
COMMUNITY DEVELOPMENT DIRECTOR

ACCEPTED BY: _____ DATE _____
ENGINEERING DEVELOPMENT REVIEW/CIVIL INSPECTIONS MANAGER

DAVID EVANS & ASSOCIATES, INC.
1600 Broadway Suite 800
Denver, Colorado 80202
Tel: 720-946-0969
Fax: 720-946-0973
Engineers • Surveyors • Planners

PRELIMINARY PUD
PRELIMINARY SITE & LANDSCAPE DETAILS 01

SHEET 16
16 OF 19
DATE: **May 11, 2020**
DRAWN BY: JCB
CHECKED BY: MABU
PROJECT NO.: LNDASTBR-0001

STONEBROOK SUBDIVISION FILING NO. 1 BLOCK 1 LOT 4 PRELIMINARY PUD

A PORTION OF THE NORTHEAST QUARTER (NE1/4)
OF SECTION 2, TOWNSHIP 5 NORTH, RANGE 66 WEST OF THE 6TH P.M.,
CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO.

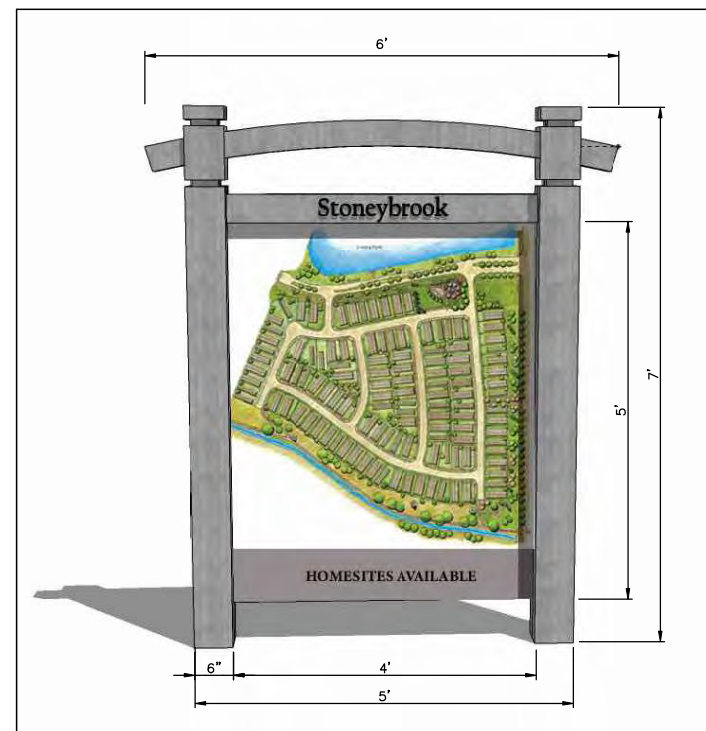
MANUFACTURED HOME SITE IDENTIFICATION SIGN

UNIT IDENTIFICATION SIGN DESIGN STANDARDS:

- MUST BE POSTED ON THE SIDE OF HOME/ STRUCTURE FACING THE INTERNAL STREET AND SHALL BE POSTED 6' FROM GRADE.
- SHALL BE CONSTRUCTED OF DURABLE MATERIALS THAT MAY INCLUDE METAL ALLOYS OR LASTING COMPOSITE MATERIALS.
- MINIMUM VARIABLE FONT OR FONT OF SIMILAR APPEARANCE.
- SHALL MATCH SIGNAGE FOR INDIVIDUAL HOME SITES FOUND IN ADJACENT MANUFACTURED HOME COMMUNITY TO THE WEST.



CONCEPTUAL WAYFINDING SIGN



NOTES:

- WILL BE PLACED AT BOTH ENTRANCES TO THE COMMUNITY.
- WILL IDENTIFY FOR VISITORS & EMERGENCY SERVICES THE LOCATION OF SPECIFIC HOME SITES.
- SHALL BE CONSTRUCTED OF METAL OR COMPOSITE MATERIALS FOR DURABILITY.
- SEE SHEET 13 FOR LOCATIONS.
- WAYFINDING SIGNAGE LOCATED AT THE ENTRANCE OF THE COMMUNITY MUST MEET CITY OF GREELEY BUILDING CODES.
- SIGN SHALL BE A MINIMUM SIZE OF 4x5'.
- ANY SIGNAGE NOT INCLUDED HEREIN SHALL BE PERMITTED UNDER SEPARATE CITY OF GREELEY PROCESSES AND MUST MEET THE REQUIREMENTS OF CHAPTER 18.54 OF THE GREELEY MUNICIPAL CODE (THE "GREELEY SIGN CODE").

CONSTRUCTION MUST BE IN ACCORDANCE WITH APPLICABLE CITY OF GREELEY CONSTRUCTION STANDARDS, EXCEPT AS THOSE DEVIATIONS SHOWN HEREIN. THE CITY'S ACCEPTANCE SHALL NOT RELIEVE THE DESIGN ENGINEER'S RESPONSIBILITY FOR ERRORS, OMISSIONS, OR DESIGN DEFICIENCIES FOR WHICH THE CITY IS HELD HARMLESS.

ACCEPTED BY: _____ DATE _____
COMMUNITY DEVELOPMENT DIRECTOR

ACCEPTED BY: _____ DATE _____
ENGINEERING DEVELOPMENT REVIEW/CIVIL INSPECTIONS MANAGER

DAVID EVANS & ASSOCIATES, INC.
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PRELIMINARY PUD
PRELIMINARY SITE & LANDSCAPE DETAILS 02

SHEET 17
17 OF 19
DATE: **May 11, 2020**
DRAWN BY: JCB
CHECKED BY: MABU
PROJECT NO.: LNDASTBR-0001

STONEBROOK SUBDIVISION FILING NO. 1 BLOCK 1 LOT 4 PRELIMINARY PUD

A PORTION OF THE NORTHEAST QUARTER (NE1/4)
OF SECTION 2, TOWNSHIP 5 NORTH, RANGE 66 WEST OF THE 6TH P.M.,
CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO.



ARCHITECTURAL DESIGN STANDARDS

- MANUFACTURED HOMES SHALL ADHERE TO THE STANDARDS SET FORTH BELOW:
1. NO MANUFACTURED HOME SHALL EXCEED 30' IN HEIGHT.
 2. NO MANUFACTURED HOMES OR ACCESSORY STRUCTURES SHALL OVERHANG OR OBSTRUCT ANY DRIVEWAY, PARKING SLAB, STREET, OR PATHWAY.
 3. ALL UNITS SHALL BE SKIRTED WITH MATERIALS WHICH ARE THE SAME OR COMPATIBLE WITH THE MATERIAL USED AS THE PRINCIPAL EXTERIOR MATERIAL OF THE UNIT.
 4. ROOFING SHALL BE SIMILAR IN COLOR, AND APPEARANCE TO ROOFING IN THE VICINITY OF THE COMMUNITY.
 5. PRIMARY EXTERIOR MATERIALS SHALL BE SIMILAR IN COLOR, AND APPEARANCE TO RESIDENTIAL EXTERIORS IN THE VICINITY OF THE COMMUNITY.
 6. GARAGES ARE NOT PERMITTED WITH THE COMMUNITY.
 7. COVERED PORCHES, PATIOS AND DECKS ARE OPTIONAL AND MUST MEET CITY OF GREELEY BUILDING CODE.

NOTE: IMAGES SHOWN ARE EXAMPLE BUILDING ELEVATIONS AND ARE CONCEPTUAL ONLY. VARIATIONS TO EXTERIOR COLORS AND FINISHED MAY OCCUR.

CONSTRUCTION MUST BE IN ACCORDANCE WITH APPLICABLE CITY OF GREELEY CONSTRUCTION STANDARDS, EXCEPT AS THOSE DEVIATIONS SHOWN HEREIN. THE CITY'S ACCEPTANCE SHALL NOT RELIEVE THE DESIGN ENGINEER'S RESPONSIBILITY FOR ERRORS, OMISSIONS, OR DESIGN DEFICIENCIES FOR WHICH THE CITY IS HELD HARMLESS.

ACCEPTED BY: _____ DATE _____
COMMUNITY DEVELOPMENT DIRECTOR

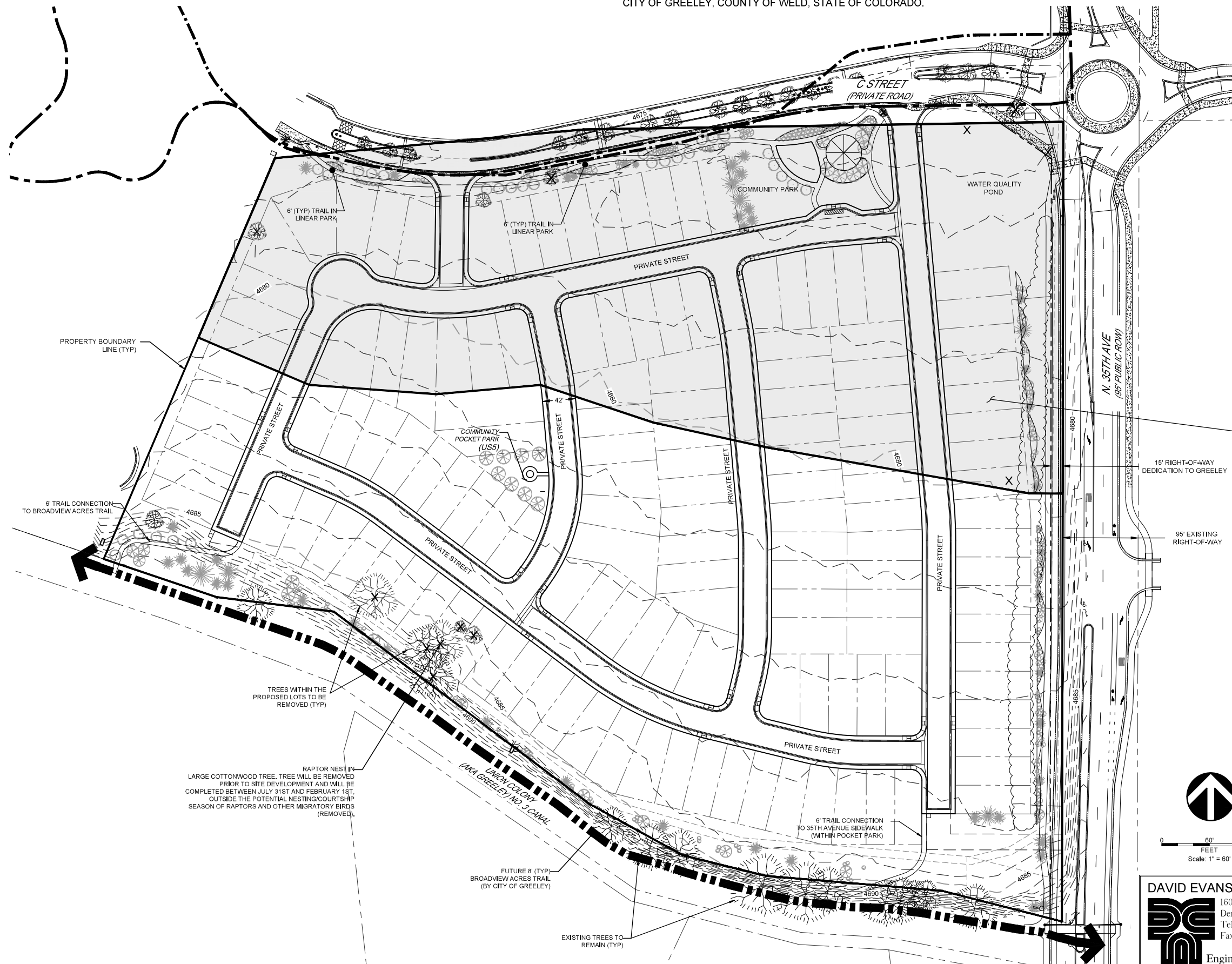
DAVID EVANS & ASSOCIATES, INC.
1600 Broadway Suite 800
Denver, Colorado 80202
Tel: 720-946-0969
Fax: 720-946-0973
Engineers • Surveyors • Planners

PRELIMINARY PUD
CONCEPTUAL ARCHITECTURAL ELEVATIONS

SHEET 18
18 OF 19
DATE: May 11, 2020
DRAWN BY: JCB
CHECKED BY: MABU
PROJECT NO.: LNDASTBR-0001

STONEBROOK SUBDIVISION FILING NO. 1 BLOCK 1 LOT 4 PRELIMINARY PUD

A PORTION OF THE NORTHEAST QUARTER (NE1/4)
OF SECTION 2, TOWNSHIP 5 NORTH, RANGE 66 WEST OF THE 6TH P.M.,
CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO.



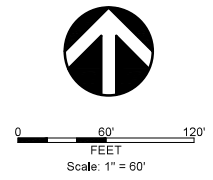
LEGEND

- PROPERTY BOUNDARY LINE
- HOMESITE LINE
- EXISTING CONTOURS
- PRAIRIE DOG LOCATION/AREA
- CONIFEROUS TREES
- COLUMNAR TREES
- DECIDUOUS TREES
- ORNAMENTAL TREES
- LARGE SHRUB
- MEDIUM SHRUB
- EXISTING TREES TO BE REMOVED
- FUTURE BROADVIEW ACRES TRAIL (BY OTHERS)

REMOVAL OF EXISTING BLACK TAILED PRAIRIE DOG COLONY, REMOVAL WILL FOLLOW STANDARDS ESTABLISHED IN SECTION 18.48.060(b)(1)(2) OF THE GREELEY DEVELOPMENT CODE. REMOVAL WILL NOT OCCUR BETWEEN MAY 15 THROUGH SEPTEMBER 15 TO PROTECT POTENTIAL BURROWING OWLS UNLESS THE COLONY HAS BEEN SURVEYED BY A PROFESSIONAL BIOLOGIST FOR THE PRESENCE OF BURROWING OWLS.

RAPTOR NEST IN LARGE COTTONWOOD TREE, TREE WILL BE REMOVED PRIOR TO SITE DEVELOPMENT AND WILL BE COMPLETED BETWEEN JULY 31ST AND FEBRUARY 1ST, OUTSIDE THE POTENTIAL NESTING/COURTSHIP SEASON OF RAPTORS AND OTHER MIGRATORY BIRDS (REMOVED).

CONSTRUCTION MUST BE IN ACCORDANCE WITH APPLICABLE CITY OF GREELEY CONSTRUCTION STANDARDS, EXCEPT AS THOSE DEVIATIONS SHOWN HEREIN. THE CITY'S ACCEPTANCE SHALL NOT RELIEVE THE DESIGN ENGINEER'S RESPONSIBILITY FOR ERRORS, OMISSIONS, OR DESIGN DEFICIENCIES FOR WHICH THE CITY IS HELD HARMLESS.



ACCEPTED BY: _____ ENGINEERING DEVELOPMENT REVIEW/CIVIL INSPECTIONS MANAGER DATE _____

DAVID EVANS & ASSOCIATES, INC.
1600 Broadway Suite 800
Denver, Colorado 80202
Tel: 720-946-0969
Fax: 720-946-0973
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PRELIMINARY PUD
ECOLOGICAL ASSESMENT

SHEET 19
19 OF 19
DATE: **May 11, 2020**
DRAWN BY: JCB
CHECKED BY: MABU
PROJECT NO.: LNDASTBR-0001

PROPERTY BOUNDARY MAP

Attachment D

Of Lot 4, Block 1, Stoneybrook Subdivision Filing No. 1,
 Situate in the Northeast Quarter of Section 2, Township 5 North, Range 66 West
 of the 6th P.M., City of Greeley, County of Weld, State of Colorado

PROPERTY DESCRIPTION

Lot 4, Block 1, Stoneybrook Subdivision Filing No. 1, City of Greeley, County of Weld, State of Colorado.

Said described parcels contain 20.662 Acres, more or less (±).

BASIS OF BEARINGS AND LINEAL UNIT DEFINITION

Assuming the East line of the Northeast Quarter of Section 2, T.5N., R.66W., as bearing South 00°05'52" West as monumented as shown on this plat, being a Grid Bearing of the Colorado State Plane Coordinate System, North Zone, North American Datum 1983/2011, a distance of 2676.71 feet with all other bearings contained herein relative thereto.

The lineal dimensions as contained herein are based upon the "U.S. Survey Foot."

NOTICE

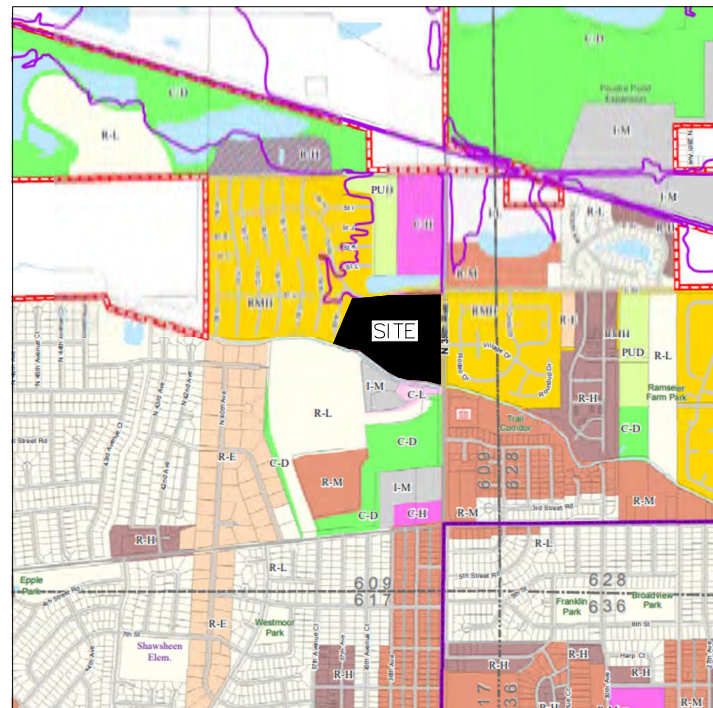
According to Colorado law you must commence any legal action based upon any defect in this survey within three years after you first discover such defect, in no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon. (13-80-105 C.R.S. 2012)

SURVEYOR'S STATEMENT

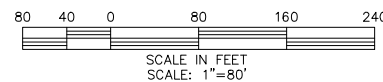
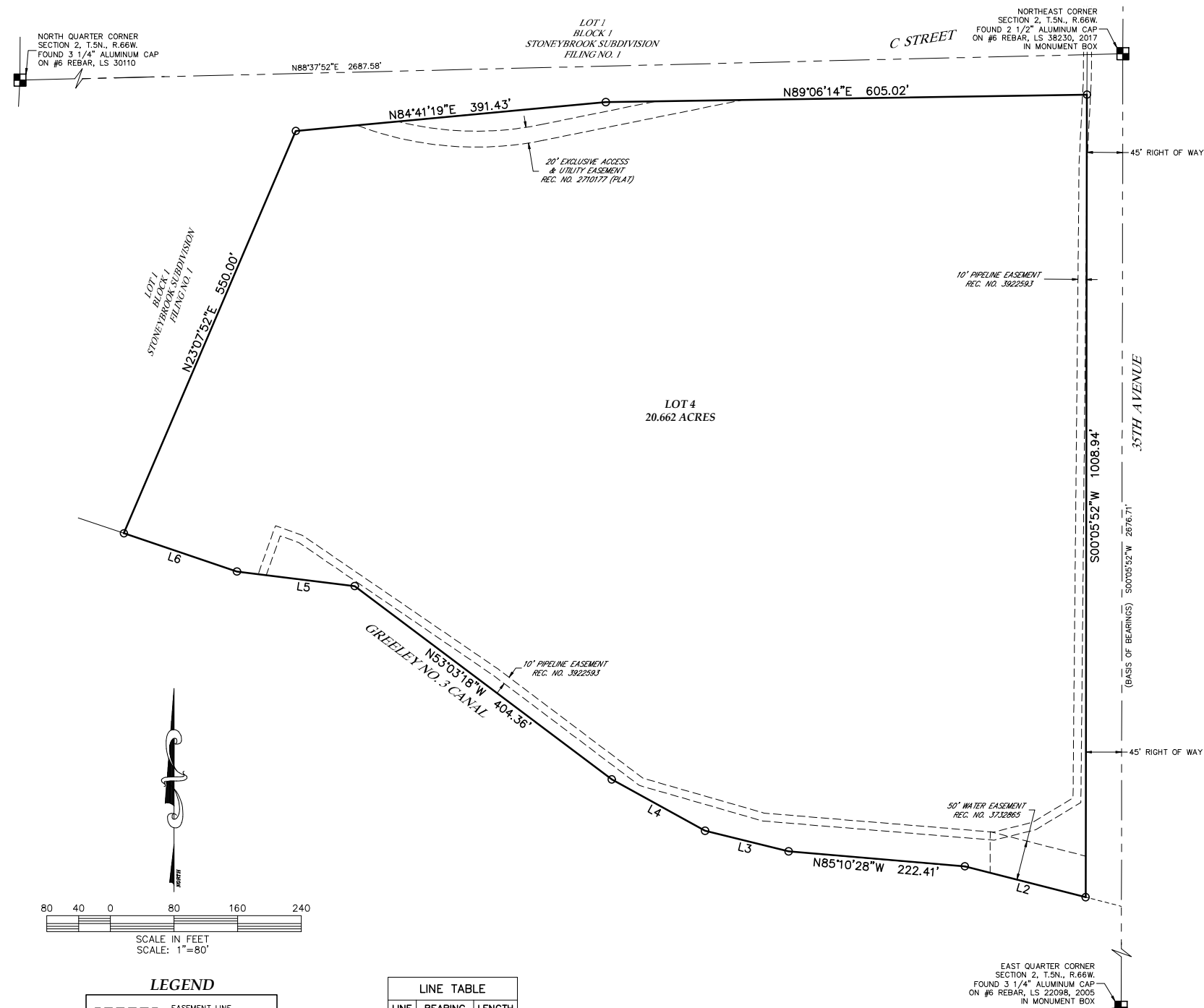
I certify that this map accurately represents the results of a survey made by me or under my direct supervision.

PRELIMINARY

Paul B. Groves - On Behalf Of King Surveyors
 Colorado Licensed Professional
 Land Surveyor #36209



VICINITY MAP
 SCALE: 1"=1000'



LEGEND

- EASEMENT LINE
- SECTION LINE
- RIGHT-OF-WAY LINE
- PROPERTY LINE
- FOUND ALIQUOT CORNER AS DESCRIBED
- CALCULATED POSITION

LINE TABLE

LINE	BEARING	LENGTH
L2	N75°38'28"W	156.70'
L3	N76°07'58"W	108.17'
L4	N61°10'58"W	133.88'
L5	N82°56'28"W	149.16'
L6	N71°18'48"W	150.00'

DATE: 5/11/2020
 FILE NAME: 20180516REZ
 SCALE: 1"=80'
 DRAWN BY: CSK
 CHECKED BY: PG

KING SURVEYORS
 650 E. Garden Drive | Windsor, Colorado 80550
 phone: (970) 686-5011 | email: contact@Kingsurveyors.com



REVISIONS:

DATE:	DESCRIPTION:

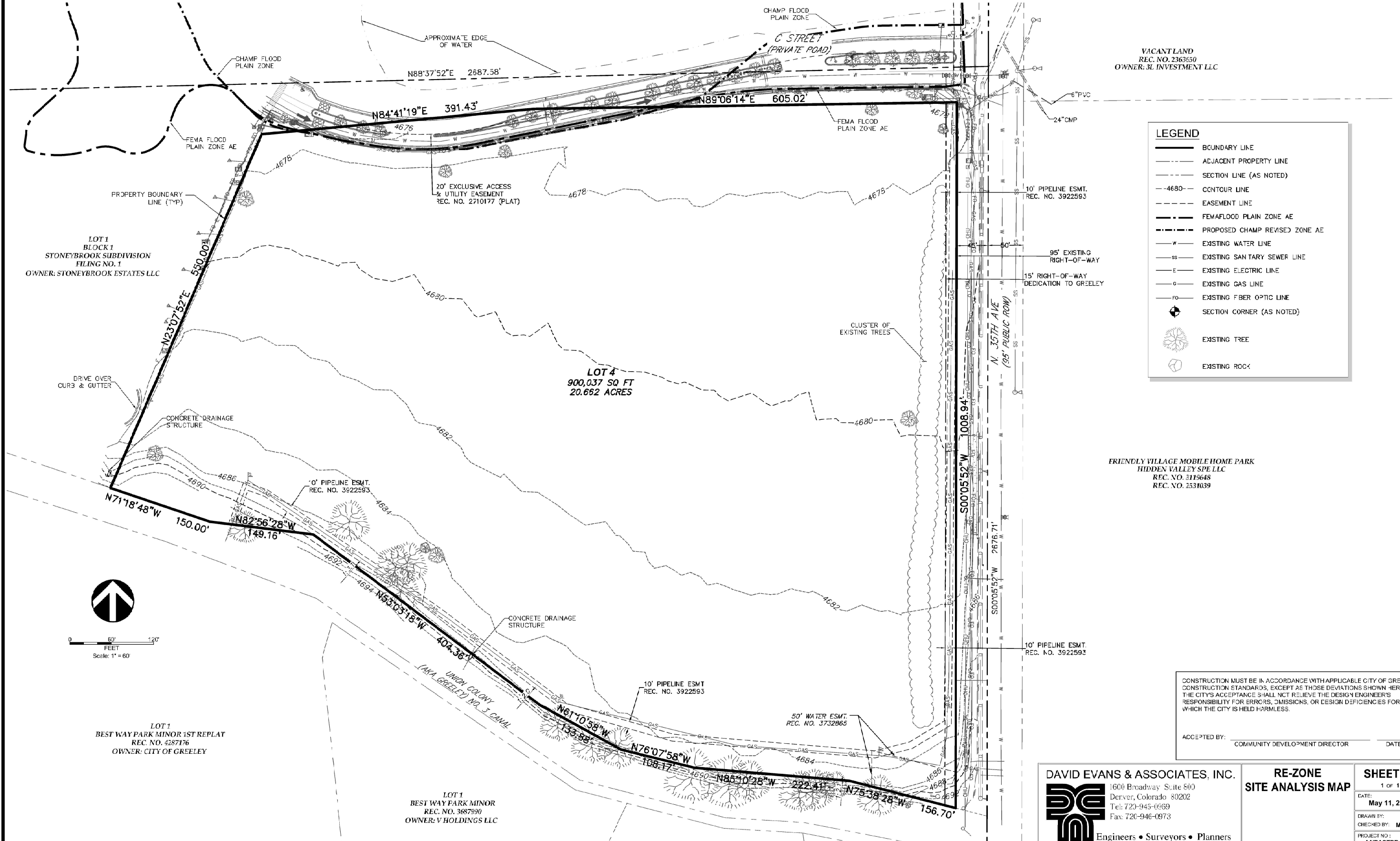
PROPERTY BOUNDARY MAP
 FOR
 LAND ASSET STRATEGIES, LLC
 15400 W. 64TH AVENUE, UNIT E9-123
 ARVADA, CO 80007

PROJECT #:
 20180516

1
 SHEET 1 OF 1

STONEBROOK SUBDIVISION FILING NO. 1 BLOCK 1 LOT 4 RE-ZONE

A PORTION OF THE NORTHEAST QUARTER (NE1/4)
OF SECTION 2, TOWNSHIP 5 NORTH, RANGE 66 WEST OF THE 6TH P.M.,
CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO.



VACANT LAND
REC. NO. 236350
OWNER: 3L INVESTMENT LLC

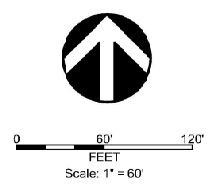
LEGEND

- BOUNDARY LINE
- ADJACENT PROPERTY LINE
- SECTION LINE (AS NOTED)
- CONTOUR LINE
- EASEMENT LINE
- FEMA FLOOD PLAIN ZONE AE
- PROPOSED CHAMP REVISED ZONE AE
- EXISTING WATER LINE
- EXISTING SANITARY SEWER LINE
- EXISTING ELECTRIC LINE
- EXISTING GAS LINE
- EXISTING FIBER OPTIC LINE
- SECTION CORNER (AS NOTED)
- EXISTING TREE
- EXISTING ROCK

FRIENDLY VILLAGE MOBILE HOME PARK
HIDDEN VALLEY S/P/E LLC
REC. NO. 3119648
REC. NO. 2531039

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ACCEPTED BY: _____ COMMUNITY DEVELOPMENT DIRECTOR _____ DATE _____



LOT 1
BLOCK 1
STONEBROOK SUBDIVISION
FILING NO. 1
OWNER: STONEYBROOK ESTATES LLC

LOT 1
BEST WAY PARK MINOR 1ST REPLAT
REC. NO. 4287176
OWNER: CITY OF GREELEY

LOT 1
BEST WAY PARK MINOR
REC. NO. 3687990
OWNER: V HOLDINGS LLC

LOT 4
900,037 SQ FT
20.662 ACRES

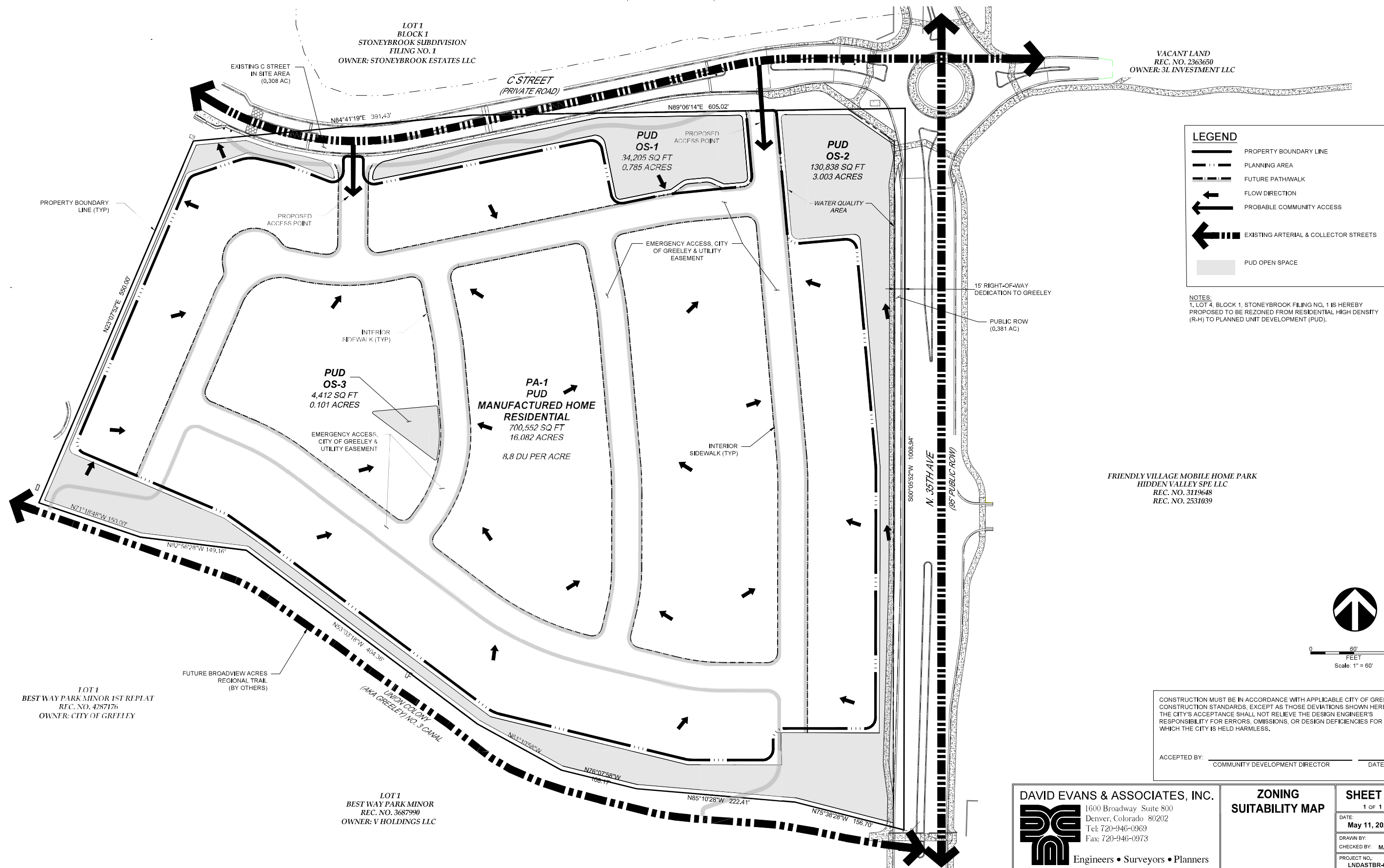
DAVID EVANS & ASSOCIATES, INC.
1600 Broadway Suite 500
Denver, Colorado 80202
Tel: 720-945-0969
Fax: 720-946-0973
 Engineers • Surveyors • Planners

**RE-ZONE
SITE ANALYSIS MAP**

SHEET 1
1 of 1
DATE: **May 11, 2020**
DRAWN BY: **JCB**
CHECKED BY: **MABU**
PROJECT NO.: **LINCASTBR-0001**

STONEYBROOK SUBDIVISION FILING NO. 1 BLOCK 1 LOT 4 RE-ZONE

A PORTION OF THE NORTHEAST QUARTER (NE1/4)
OF SECTION 2, TOWNSHIP 5 NORTH, RANGE 66 WEST OF THE 6TH P.M.,
CITY OF GREELEY, COUNTY OF WELD, STATE OF COLORADO.

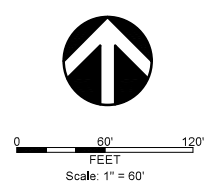


LEGEND

- PROPERTY BOUNDARY LINE
- PLANNING AREA
- FUTURE PATHWALK
- FLOW DIRECTION
- PROBABLE COMMUNITY ACCESS
- EXISTING ARTERIAL & COLLECTOR STREETS
- PUD OPEN SPACE

NOTES:
1. LOT 4, BLOCK 1, STONEYBROOK FILING NO. 1 IS HEREBY PROPOSED TO BE REZONED FROM RESIDENTIAL HIGH DENSITY (R-H) TO PLANNED UNIT DEVELOPMENT (PUD).

FRIENDLY VILLAGE MOBILE HOME PARK
HIDDEN VALLEY SPE LLC
REC. NO. 3119648
REC. NO. 2531039



CONSTRUCTION MUST BE IN ACCORDANCE WITH APPLICABLE CITY OF GREELEY CONSTRUCTION STANDARDS, EXCEPT AS THOSE DEVIATIONS SHOWN HEREIN. THE CITY'S ACCEPTANCE SHALL NOT RELIEVE THE DESIGN ENGINEER'S RESPONSIBILITY FOR ERRORS, OMISSIONS, OR DESIGN DEFICIENCIES FOR WHICH THE CITY IS HELD HARMLESS.

ACCEPTED BY: _____ COMMUNITY DEVELOPMENT DIRECTOR _____ DATE _____

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Engineers • Surveyors • Planners

**ZONING
SUITABILITY MAP**

SHEET 1	
1 OF 1	
DATE:	May 11, 2020
DRAWN BY:	JCB
CHECKED BY:	MABU
PROJECT NO.:	LNDASTBR-0001

Council Agenda Summary

July 21, 2020

Agenda Item Number 11

Title

Pulled Consent Agenda Items

Council Agenda Summary

July 21, 2020

Agenda Item Number 12

Key Staff Contact: Brad Mueller, Community Development Director, 970-350-9786
 Kira Stoller, Planner, 970-336-4050

Title:

A public hearing to consider a Final PUD Amendment to allow for a 6,751 square foot building addition on a parcel of property located at 1121 M Street

Summary:

Weld County is requesting to amend the existing Weld County Business Park Final PUD (Planned Unit Development) to allow for the construction of a 6,751 square foot addition to the existing building located at 1121 M Street. The building will be repurposed to house the Weld County Coroner’s Office. The coroner’s office has outgrown its current location at the Weld County Centennial Center located in downtown Greeley and is in need of a new facility that is more conducive to its work. Although the proposal does not constitute a change of use, the size of the building addition necessitates a major Final PUD Amendment.

The proposed addition will house a drive-through garage, autopsy suite, cooler, freezer, storage and personal effects intake area, while the interior of the existing structure will be converted into an office suite and lobby. The proposed Final PUD Amendment also identifies as 675 square foot pad on the north end of the building for a future cooler/freezer enclosure.

Final PUD’s, including site plans, require Council approval under current Code. The Planning Commission considered this request on June 23, 2020 and unanimously recommended approval to City Council.

Fiscal Impact:

Does this item create a fiscal impact on the City of Greeley?	No
If yes, what is the initial, or, onetime impact?	
What is the annual impact?	
What fund of the City will provide Funding?	
What is the source of revenue within the fund?	
Is there grant funding for this item?	N/A
If yes, does this grant require a match?	
Is this grant onetime or ongoing?	
Additional Comments:	

Legal Issues:

Consideration of this matter is a quasi-judicial process which includes the following public hearing steps:

- 1) City staff presentation
- 2) Council questions of staff
- 3) Applicant presentation
- 4) Council questions of applicant
- 5) Public input (hearing opened, testimony - up to three minutes per person, hearing closed)
- 6) Rebuttal, if requested
- 7) Council discussion
- 8) Council decision

Other Issues and Considerations:

None noted.

Applicable Council Priority and Goal:

Consistency with Comprehensive Plan and Development Code standards.

Decision Options:

- 1) Approve the amended Final PUD as presented; or
- 2) Amend the Final PUD and approve as amended; or
- 3) Deny the amended Final PUD; or
- 4) Continue consideration of the Final PUD amendment to a date certain.

Council's Recommended Action:

A motion to approve amendment to the Weld County Business Park Final PUD to allow for construction of a new 10,266 square foot building at 1399 North 17th Avenue.

Attachments:

Planning Commission Minutes-Draft (June 23, 2020)
Planning Commission Summary (Staff Report) (June 23, 2020)
PowerPoint Presentation



PLANNING COMMISSION Proceedings

June 23, 2020

**Council Chambers – City Center South
1001 11th Avenue
1:15 p.m.**

I. Call to Order and Roll Call

Chair Yeater called the meeting to order at 1:15 p.m. Commissioners Briscoe, Franzen and Modlin were present. (Commissioners Andersen, Schulte and Romulo were absent.)

II. Approval of minutes for meeting held on May 26, 2020.

Commissioner Briscoe moved to approve minutes of the meeting held on May 26, 2020. Commissioner Franzen seconded the motion. Motion carried 4-0. (Commissioners Andersen, Schulte and Romulo were absent.)

III. A public hearing to consider a Variance for a setback of 12 feet where 25 feet is required

Project Name: Spradley Barr Setback Variance
Case No.: VAR 2019-0019
Applicant: Cameron Knapp, Drexel Barrell & Co. on behalf of SB&W Holdings, LLC
Location: 2845 30th Street
Presenter: Carol Kuhn, Chief Planner

Carol Kuhn addressed the Commission and referenced a memo that was provided to the Commissioners requesting a continuance of this matter to a date certain of June 30, 2020. Ms. Kuhn advised that the companion case to the variance, USR 2019-0019, was not properly noticed and that it would be beneficial to hear both items together. She requested a continuance of this item.

Commissioner Franzen moved that the Planning Commission continue the setback variance item to June 30, 2020 to be heard with the related Use by Special Review application. Commissioner Modlin seconded the motion. Motion carried 4-0. (Commissioners, Andersen, Schulte and Romulo were absent.)

IV. A public hearing to consider a Final Planned Unit Development (PUD) Amendment to allow for a 6,715 square foot building addition on a 2.63-acre parcel

Project Name: Tract B, Weld County Business Park PUD, 1st Amendment
Case No.: PUD2020-0001
Applicant: Kim Lambrecht, on behalf of Weld County
Location: 1121 M Street
Presenter: Kira Stoller, Planner II

Kira Stoller addressed the Commission and described the item as a request to amend the final PUD to allow for construction of a 6,715 square foot building addition. She presented a map of the Weld County Business Park and stated that the PUD was adopted in June of 1988. Ms. Stoller presented a rendering showing the location of the site that is the subject of this hearing and described the surrounding areas.

Ms. Stoller reported that a final PUD amendment for the site was approved in December 1991 allowing for the development of the Weld County Ambulance Service Facility. She provided a brief description of the exterior construction materials of the building. Ms. Stoller advised that the County plans to convert the building for use by the Weld County Coroner's Office and will include a drive-thru garage, autopsy suite, cooler, freezer, and storage and personal effects intake area. She added that the interior of the existing structure would be converted into an office suite and lobby. Ms. Stoller stated that the final PUD amendment identifies a 675 square foot pad on the north end of the building that the applicant proposes for a future cooler/freezer enclosure.

Ms. Stoller presented several exterior elevations and advised that construction materials would match those used on the existing structure. She added that the existing overhead doors will be filled in to match rest of the structure, the existing driveway on the south will be removed and replaced with landscaping, and the existing metal roof will be replaced with a metal roof of a different color. Ms. Stoller presented several photographs of the existing building.

A description of the five approval criteria described in Section 18.32.010 was provided and staff determined that all criteria fall within the Weld County Business Park PUD. Signs were posted at the site and letters were mailed to property owners within 500 feet of the property. Ms. Stoller reported that no inquiries had been received and that staff recommended approval.

Commissioner Modlin asked whether the traffic patterns would change as a result of the building expansion. Ms. Stoller advised that traffic is expected to decrease since the current ambulance services will be relocated.

The applicant did not address the Commission.

Chair Yeater opened the public hearing opened at 1:27 p.m. There being no public comment from the gallery or via e-mail, the public hearing closed at 1:27.

Commissioner Briscoe moved that, based on the application received and the preceding analysis, the Planning Commission finds that Tract B, Weld County Business Park PUD, 1st Amendment, meets Development Code Section 18.32 and is consistent with the Weld County Business Park Final PUD; and, therefore, recommends approval of the Final PUD Amendment to the City Council. Commissioner Modlin seconded the motion. Motion carried 4-0. (Commissioners Andersen, Schulte and Romulo were absent.)

V. Staff Report

Mike Garrott, Planning Manager, addressed the Commission for Brad Mueller who was not present and thanked the Commission for agreeing to schedule a special hearing on June 30. Mr. Garrott advised that a consultant was selected to work on updating the Development Code which is expected to be complete in late 2021 or early 2022. The consultant will work with staff to review the current Code and Comprehensive Plan to see how they align. He added that public outreach and education opportunities for the Planning Commission will be an important aspect of the Code update.

Upon question by Chair Yeater, Mr. Garrott reported on how the City is doing from both a budgetary and operational standpoint. He noted that while work has always continued, there has been an incremental reopening of facilities with some, such as museums, remaining closed. Mr. Garrott reported that home sales remain fairly steady and that new development is continuing.

Commissioner Modlin asked whether any major capital improvement programs were postponed. Mr. Garrott stated that everything continues to be evaluated, but that he had not heard about any capital improvement projects being postponed or cancelled. Upon question by Commissioner Modlin, Mr. Garrott advised that the Planning Commission will receive information about the Code change throughout the process. He described some of the anticipated changes and the impact they would have for planners and the public.

Mr. Garrott responded to a question from Commissioner Franzen about the sign code and described the various available options when a business wants to change a sign. He added that staff encourages business owners to ask questions and learn about available options for replacing or updating signs.

Mr. Garrott reported that the annual growth report was nearly complete and would be ready to present to the Commission in early July.

Commissioner Briscoe noted the special meeting scheduled for next week and asked why some projects require approval prior to beginning work while others, such as Aims Community College, begin moving dirt prior to approval. Mr. Garrott explained the reason for the June 30 special meeting. He added that it is not uncommon for some projects to move forward and begin at-risk grading. Staff always advises developers of the risk. Mr. Garrott added that some sites, such as schools or utilities, are reviewed and approved administratively.

PLANNING COMMISSION SUMMARY

ITEM: An amendment to the Weld County Business Park Final PUD (Planned Unit Development) to allow for a 6,715 square foot building addition

FILE NUMBER: PUD2020-0001

PROJECT: Tract B Weld County Business Park PUD, 1st Amendment

LOCATION: 1121 M Street

APPLICANT: Kim Lambrecht, on behalf of Weld County

CITY PLANNER: Kira Stoller, Planner II

PLANNING COMMISSION HEARING DATE: June 23, 2020

PLANNING COMMISSION FUNCTION:

The Planning Commission shall consider the staff report, along with testimony and comments made by the applicant and the public and shall then make a recommendation to the City Council regarding the application in the form of a finding based on the review criteria in Chapter 18.32.

EXECUTIVE SUMMARY

The City of Greeley is considering a request by Kim Lambrecht, on behalf of Weld County, for an amendment to the Weld County Business Park Final PUD located at 1121 M Street. The request would allow for the construction of a 6,715 square foot building addition.

A. REQUEST

The applicant is seeking approval to amend the Weld County Business Park Final PUD to allow for construction of a 6,715 square foot building addition.

B. STAFF RECOMMENDATION

Approval

C. LOCATION

The subject property is located on the northwest corner of the intersection of N 11th Avenue and M Street (*see Attachment A – Vicinity Map*).

Current Zoning: PUD (Weld County Business Park)

Abutting Zoning: North: PUD
 South: PUD
 East: C-L (Commercial Low Intensity)
 West: PUD

Abutting Land Uses: North: Office (Weld County Administration)
 South: Rehab center (Alternative Homes for Youth)
 East: Emergency shelter (Guadalupe Community Center)
 West: Medical office (North Range Behavioral Health)

Lot Size: 2.63 acres or 114,563 square feet

Existing Lot Coverage: (approximate figures)	Building Area:	6,000 square feet	(5.2%)
	Pavement:	17,677 square feet	(15.4%)
	<u>Landscaping/Open Space:</u>	<u>90,886 square feet</u>	<u>(79.3%)</u>
	Total	114,563 square feet	(100%)

Proposed Lot Coverage:	Building Area:	12,715 square feet	(11.1%)
	Pavement:	14,780 square feet	(12.9%)
	<u>Landscaping/Open Space:</u>	<u>87,068 square feet</u>	<u>(76.0%)</u>
	Total	114,563 square feet	(100%)

Proposed Uses: Coroner's office

D. BACKGROUND

The Weld County Business Park Final PUD was adopted on June 7, 1988. Tract B was originally designated for commercial and industrial uses. A Final PUD amendment for the subject site was approved on December 3, 1991 (rec # 2291049) and allowed for the development of the Weld County Ambulance Service Facility. The approval allowed for a 6,000 square foot building, constructed of smooth and split faced concrete masonry unit (CMU) blocks and a standing seam metal roof. The approved site and landscape plan included 35 parking stalls, as well as minimal landscaping on the southeast side of the property. Additionally, the site was permitted a 24 square foot brick monument sign with six inch metal lettering to the west of the eastern access drive. Stormwater detention and parking improvements were also approved for the site in April of 2007 (rec # 3481488).

The applicant is requesting a Final PUD Amendment to build a 6,715 square foot addition on the north side of the existing building, so that the facility can be repurposed to house the Weld County Coroner's Office (see Attachment B – Applicant Narrative and Attachment C – Site Plan). The

coroner's office has outgrown its current location at the Weld County Centennial Center, in downtown Greeley, and is in need of a new facility that is more conducive to their work. Although the proposal does not constitute a change of use, the size of the building addition necessitates a major Final PUD amendment.

The proposed addition would house a drive-thru garage, autopsy suite, cooler, freezer, storage and personal effects intake, while the interior of the existing structure would be converted into an office suite and lobby. The overall building would have a footprint of 12,715 square feet and a maximum height of 21 feet, 4 inches. The proposed Final PUD Amendment also identifies a 675 square foot pad on the north end of the building, for a future cooler/freezer enclosure.

The Weld County Business Park Final PUD was established prior to the adoption of the current Development Code. Because it was initially reviewed and approved by City Council, rather than the Planning Commission, any amendments to the PUD, also require City Council approval.

E. APPROVAL CRITERIA

DEVELOPMENT CODE COMPLIANCE SECTION 18.32.010 – Purpose and intent.

The purpose of this Chapter is to designate areas for the achievement of site design which provides a development of mixed land uses, or for uses and site designs which cannot otherwise be accommodated without PUD approval, through flexibility and creativity and to produce planned unit developments which are in keeping with the overall goals and objectives of the City's Comprehensive Plan. The intent is to permit such flexibility and provide performance criteria which:

- (1) Allow a diversity of uses, structures, facilities, housing types, open space and buffers in a manner compatible with existing and planned uses on adjacent properties;*
- (2) Encourage and allow for greater innovative designs that promote more efficient and environmentally sensitive use of the land than generally achievable through conventional zoning and development regulations;*
- (3) Protect the environment by affording opportunities and incentives for the preservation of environmentally sensitive and important natural or historic areas;*
- (4) Promote the meaningful integration of common open area networks and developed recreation areas;*
- (5) Promote further creativity in development layout, design and construction;*

- (6) Encourage development to occur in accordance with the coordinated and planned extension of existing and programmed community facilities and infrastructure; and
- (7) While the PUD may permit development of land in a way which might not be permitted under traditional zoning regulations, the PUD is not intended to modify or in any way alter or reduce the requirements of any building and/or zoning code requirements, unless commensurate benefits to the community are provided as part of the PUD plan and alternative protections are provided. (Ord. 65, 2002 §1; Ord. 27, 1998 §1)

The review criteria found in Section 18.32.140(c) of the Greeley Development Code shall be used when considering a Final PUD approval request.

1. Is the Final PUD Plan substantially in compliance with the approved Preliminary PUD Plan?

Staff Comment: The Final PUD Amendment is in accordance with the Preliminary PUD, as amended, and the applicable Development Code as noted below:

Building Elevations – The proposed elevations for the building addition align with the design of the existing structure, as well as other surrounding structures within the Weld County Business Park PUD (see Attachment E – Building Elevations). The existing building is constructed of smooth and split faced concrete masonry unit (CMU) blocks and a blue standing seam metal roof. As part of the proposed renovation, the four garage doors on the south side of the existing building would be filled in with smooth face CMU blocks, so that the internal space can be repurposed into offices. The new garage would be located on the north end of the building addition and would be laid out as a drive-thru that is accessed from the east side of the building and exited on the west. The existing roof would be replaced with a dark gray standing seam roof, while the roof of the addition would be flat and house mechanical equipment behind a parapet wall. The future cooler/freezer enclosure would match the same architectural design as the current addition.

Landscaping – The previous PUD approval called for five (5) honey locust trees along M Street and one (1) blue spruce tree in the parking island to the northeast of the building. Additionally, seven (7) buffalo junipers were to be located along the south and east sides of the building. The site currently only contains two trees on either side of the eastern site access. The applicant proposes to substantially upgrade the site landscaping in conjunction with the proposed building renovation. Fourteen (14) new trees would be planted on the property, as well as over 200 shrubs and ornamental grasses (see Attachment D – Landscape Plan). In total, the amended site plan would have 87,068 square feet of landscaping/open space (76% of the property).

Signage – The Final PUD for the Weld County Ambulance Service Facility allowed for one 24 square foot freestanding brick sign with six inch metal letters. The monument sign that currently exists on the site, is 40 square feet in size and constructed of concrete masonry unit (CMU) blocks. Although the existing sign is not in conformance with the previous approval, the applicant wishes to modify it to reflect the new name of the facility. Therefore, this Final PUD Amendment also proposes to revise the sign regulations for the subject site, to indicate that any future changes to the site signage shall comply with the regulations of the C-H (Commercial High Intensity) zone district.

Photometric – The previous site plan called for two freestanding light poles on the north and east sides of the parking lot. The light poles are 20 feet tall and consistent with the exterior lighting approved for the Weld County Administration Building to the north. The proposed renovation of the site would include four freestanding light poles. The lights would match the design and height of the existing fixtures on the site and would be situated in pairs to the east of the parking lot and to the west of the exit only driveway. Additionally, eleven wall mounted lights are proposed around the building exterior.

Parking – The existing ambulance service facility required 35 paved parking spaces. The coroner’s office has been designed for future growth of up to 18 employees. Based on the required parking ratio for police and fire stations, ambulance storage (one space per employee, plus one space per company vehicle) a minimum of 21 parking stalls would need to be provided and 23 spaces have been proposed. In addition to adjusting the site’s parking layout, the applicant plans to remove the existing driveway in front of the building and relocate the garage to the addition on the north side of the structure. The garage would function as a one-way drive-thru and exit to a new driveway on the west side of the building.

F. ADMINISTRATIVE REVIEW TEAM COMMENTS

The Administrative Review Team reviewed this proposal, and there are no outstanding comments pertaining to this Final PUD Amendment request.

G. PHYSICAL SITE CHARACTERISTICS

1. SUBDIVISION HISTORY

The subject site was platted as Lot 3 of the Weld County Business Park Amended Tract B Minor Subdivision on April 6, 2007 (rec # 3467231). The property has not undergone any additional subdivisions since it was platted.

2. HAZARDS

There are no known hazards associated with this proposal.

3. WILDLIFE

There are no anticipated impacts to wildlife with this proposal.

4. FLOODPLAIN

The property does not lie within any flood zones.

5. DRAINAGE AND EROSION

The subject site generally drains from north to south. An existing detention pond is located on the west side of the property and would continue to be used to the extent possible with necessary modifications to account for current design criteria. A new detention pond is also proposed on the east side of the existing parking lot to direct flows away from the building. Drainage pans would be installed to direct flows to both detention ponds. Two variances were requested from the drainage design criteria due to site constraints, which have been approved by the Public Works Department.

6. TRANSPORTATION

The proposal should not have a significant impact on area traffic because the operational standards of the coroner's office are expected to be far less than the previous emergency response ambulance garage.

7. SERVICES

City utility services currently serve the subject site and no impacts should result from this proposal.

H. NEIGHBORHOOD NOTIFICATION

Notification letters regarding the Final PUD request were mailed to property owners within 500 feet of the site on June 10, 2020, pursuant to Development Code requirements. Two signs were posted on the site on June 9, 2020. No comments have been received to date, June 16, 2020.

I. PLANNING COMMISSION RECOMMENDED MOTION

Based on the application received and the preceding analysis, the Planning Commission finds that the Tract B Weld County Business Park PUD, 1st Amendment, meets Development Code Section 18.32, and is consistent with the Weld County Business Park Final PUD, and therefore, recommends approval of the Final PUD Amendment to the City Council, as submitted.

J. ATTACHMENTS

Attachment A – Vicinity Map

Attachment B – Applicant Narrative




Attachment C – Site Plan

Attachment D – Landscape Plan

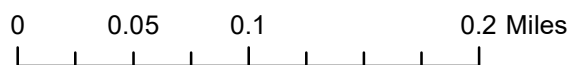
Attachment E – Building Elevations



Legend

-  Subject Site
-  Parcels
-  City Limits

Tract B Weld County Business Park PUD, 1st Amendment PUD2020-0001



Addition & Remodel – Project Narrative

On October 7, 2019, GSG Architecture met with Mike Garrott, Planning Manager, to review the proposed project scope of work, and outline the requirements for review and approval of a PUD Amendment. Submittal requirements were reviewed, and the resulting expectations were noted on the submittal checklists, which are attached. The following information outlines the need and desire for the Weld County Coroner to move to a facility that will allow the staff to perform their duties.

The Weld County Coroner currently resides in downtown Greeley, in the Weld County Centennial Center, located at 915 10th Street, on the 3rd floor. The Coroner's office has outgrown this location, and is in need of facilities that better match the goal for the Coroner's Office to meet their mission: *to provide a timely, proactive investigation to determine cause and manner of death in a professional, efficient and compassionate fashion*. The urban setting of the current coroner's office is not conducive to completion of their work. When the Weld County Ambulance Garage became available, the County saw an opportunity to repurpose the existing building, and add onto it, to develop a comprehensive facility that would meet the current and future needs of the Coroner's Office.

LAND USE DATA

Legal Description:	Lot 3, Weld County Business Park Amended Tract B Minor Subdivision	
Address:	1121 M Street	
Existing/Proposed Zoning:	PUD	
Site Area:	2.630 acres (114,563 SF)	100%
Overall Building Footprint:	12,715 SF	11.1%
Total Parking & Circulation:	13,100 SF	11.4%
Sidewalk/Patios:	1,680 SF	1.5%
Landscaping/Open Space:	87,068 SF	76.0%

Parking:	23 spaces total	
(Proposed)	15 standard spaces (9' x 18')	
	7 standard spaces (9' x 17')	
	1 ADA accessible spaces (8' x 17') with 13' aisle (existing condition)	

Zoning		Land Use
Site	PUD	Existing: Ambulance Garage Proposed: Coroner's Office
North	PUD	Weld County Administration Building
East	PUD	North 11 th Ave. & Catholic Charities Community Center
South	PUD	Youth Home & Behavioral Health Center
West	PUD	Behavior Health Center

PROJECT DESCRIPTION

The existing building was built in 1992, and is approximately 6,000 SF. It is a single-story wood framed structure, with a split face / smooth face CMU veneer. The existing roof is a blue standing seam metal roof. The structure was originally used as an ambulance garage, housing up to four (4) emergency response vehicles in the garage, and also included offices, a training room, and residential-like facilities (sleeping quarters, a kitchen, restrooms and laundry room) to serve the on-call emergency response medical professionals.

This project proposes to renovate the existing structure (including the garage space) into a professional office suite, which will include several offices, workstations, a conference room, break room, storage, restrooms, a lobby/reception area and a family meeting room. Its purpose will be to house the County Coroner, and support staff. The existing roof will be replaced with a dark gray standing seam roof, and the garage space will be repurposed into office spaces. The existing overhead garage doors will be in-filled with metal stud framing and decorative CMU veneer. Translucent windows will be placed above eye level to let in filtered light but keep prying eyes out.

Additionally, the project will build a 6,715 SF single story addition onto the north side of the building which will house the clinical component of the Coroner's Office, and will include a drive-thru garage for the Coroner's vehicles to allow for direct transfer of decedents into the building, an autopsy suite, an isolation room, a cooler, a freezer, storage and personal effects intake and storage. The exterior finishes will consist of matching split face and smooth face CMU veneer, in patterns consistent with the existing building. The roof will be flat and will house roof-top mechanical equipment behind a parapet wall. Translucent skylights will be included to let natural filtered light into the autopsy suite.

Police, attorneys, visiting doctors and affiliated professionals on official business are the primary, but rare, visitors to the building. The Coroner's office is not intended to be a public facility to the extent that the public stops in without an appointment. The facility is set up to receive family members who are specifically there to identify and/or coordinate a deceased persons status. This interaction occurs in the

Family Meeting Room located off the lobby. The reception office and rooms beyond will be secure, with access only for official business, via an employee escort.

ARCHITECTURE

The existing building is a wood framed, decorative CMU veneer structure, with a hipped blue standing seam metal roof. The addition will occur on the north side of the existing building; will have a decorative CMU veneer to complement the existing building; and will have a flat roof with a parapet wall. This project proposes to leave the shape and form of the exterior of the existing building generally intact, while infilling doors and windows that conflict with the interior renovation and addition. The existing roof will be removed, and a new dark gray standing seam metal roof installed.

Compliance with Section 18.40.090(10) building element groups:

Group 1 – exterior wall articulation: The existing building is well articulated on the front and sides. Additionally, we will be infilling the existing overhead doors with CMU and will be insetting that infill so as to create additional designed shadow line. The addition will use the changes in CMU textures and patterns to create the articulation.

Group 2 – roof articulation: The existing hip style standing seam metal roof is highly articulated, and reflects the various wall articulations, as well as the different ceiling heights found within the building. Additionally, the addition will have a flat roof surrounded by a parapet wall to create a different form and reflect a different internal use by the Coroner's office.

Group 3 – building openings, walkways, and entrances: The main building entrance has a covered walk, flanked by CMU columns, which clearly delineate it as the primary entrance for visitors. Other entrances to the building are limited to employee access and emergency exit only doors. These entrances are not highlighted, in an effort to minimize the tendency for the public to explore.

Group 4 – building materials: The existing structure and proposed addition will be comprised entirely of decorative CMU veneer. Two different textures are used (split face rough texture and a smooth face texture). The split face CMU will be used as the field texture, with the smooth face CMU being used to accent doors, windows and other decorative features of the building.

Group 5 – other architectural definition: The existing roof eaves extend 2-feet beyond the face of the structure, creating shadow lines that give a visual interest to the façade.

SIGNAGE

The site is currently home to a 10-foot long by 4-foot high decorative concrete masonry unit sign, located near the building's front entry, facing M Street. Based on information from the initial PUD approval, this sign is not in conformance with that initial project approval. Because the sign is in good condition, and matches the aesthetics of the existing structure, we respectfully request that the existing sign be allowed to remain, and modified to reflect the new name for the facility (Weld County Coroner). In order to quantify this request, we look to the C-H (Commercial High Intensity) zoning district which allows for monuments signs of up to 50 sq. ft. when the setback is less than 50 feet. The existing sign sits approximately 48 feet back from the street and has 40 sq. ft. of surface area, and as such complies with the regulations of the C-H zone district. Additionally, future changes to the site signage shall comply with the regulations of the C-H zone district.

ACCESS

Primary access to the site will be from M Street, via an existing driveway that leads to the parking lot, as well as provides access to the new garage. The garage is a one-way drive-thru operation that will exit out the opposite side, onto an 'exit only' driveway onto M Street. Note, the existing driveway and garage approach will be demolished and replaced with turf/landscaping. The separation between the driveways is 125-feet, which is slightly less than the required 135-feet for driveway separation onto a local road in a commercial/industrial land use area.

Variance Request: Weld County respectfully requests a variance from the 135-foot separation requirement for the following reasons:

- The existing 4-vehicle wide driveway, which is currently only 80-feet from the parking lot access, is being removed.
- The new access point is a one-way driveway with an 'exit only' onto M Street.
- Because this is limited to vehicles exiting from the garage, the daily trips from this driveway will be minimal
- The location of the existing detention pond, which will be reconfigured to account for this project, limits the ability to shift to the driveway any further west.

- M Street is slightly curved at this location. As such, the driveway will need to slightly curve towards the existing driveway in order to make a 90-degree connection onto M Street. This also contributes to the reduction in distance between the drives.

PARKING

The Coroner's Office currently has ten (10) employees – three of which work during normal business hours. The remaining seven (7) employees work the two shifts outside of business hours, which include weekends. The project is designed for future growth of up to eighteen (18) total employees, of which two to three would remain daytime employees, and the remaining will be shift employees. All employees have permanent offices/workstations in the existing renovated part of the building, and only move to work in the clinical side of the building as required to perform clinical duties. No employees will have a permanent workstation in the clinical side of the building.

The Coroner has three (3) vehicles, one that would generally be located on site, and two that are typically assigned to the shift employees, who are typically not on site. The ten (10) employees and the full fleet of three (3) vehicles would need thirteen (13) spaces total – if all were to be on site at the same time.

Using the parking criteria that falls under the land use category of Police & Fire Stations, and Ambulance Storage, which requires (1) space per employee, plus (1) space per company vehicle, the minimum parking required is 13 spaces at the present time. Factoring future growth, the site could potentially need 21 spaces.

The parking needs of the facility can be met with the proposed 23 spaces, and the proposed quantity does not exceed the allowance for a 125% overage.

DRAINAGE

The existing developed site generally drains from the north to the south, with flows either sheet flowing to the street on the east side or surface draining through drainage channels to an existing detention pond along the west side of the site.

To the extent feasible, this existing detention pond will continue to be used, with any modifications that may be necessary to account for current design criteria, and the new site design. A drainage plan will be added to the north side of the building addition to direct flows to the existing detention pond. A detention pond and drainage pan has also been added to the east side of the existing parking lot to direct flows away from the building and through the parking lot to the street. It is important to note that

the overall impervious area of the site has not increased significantly. The building addition is being located over an existing asphalt parking lot, and although the east parking lot is being expanded, the existing four vehicle driveway will be eliminated and replaced with turf.

TRAFFIC

M Street is classified as a Local Street, according to the 2035 Comprehensive Transportation Plan, and primarily serves the Behavioral Centers, the Youth Home and the future Coroner's Office. M Street connects North 11th Avenue (a 4-lane Major Arterial street, operating in an uncongested manner) and North 17th Avenue/H Street (a Local Street, ultimately connecting to O Street, a 2-lane Major Arterial, which currently operates in a failing manner, but is expected to improve to a passing level of service when improvements are made to the road). Because the Coroner's site has limited public access, the traffic impacts from this project are estimated to be minimal. Employees will travel to and from work in their personal vehicles. The Coroner's fleet of vehicles consist of three (3) F-150 pickup trucks, and travel to and from the site as needed to attend to a deceased person. Funeral home hearses, ambulances, small delivery vans, law enforcement, and families coming to the office will be the typical visitor – occurring two or three times a week.

Based on the current operational standards of the Coroner's Office, we estimate that the Coroner's daily activity will be far less than that of the previous Ambulance (Emergency Response) Facility.

See Project Narrative for additional information regarding employees and operations.

SITE KEYNOTES: ☐

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GSGarchitecture
D E S I G N
 ARCHITECTURE/PLANNING
 3535 WEST 12th STREET, GREELEY, COLORADO 80634 T: 970.888.3273
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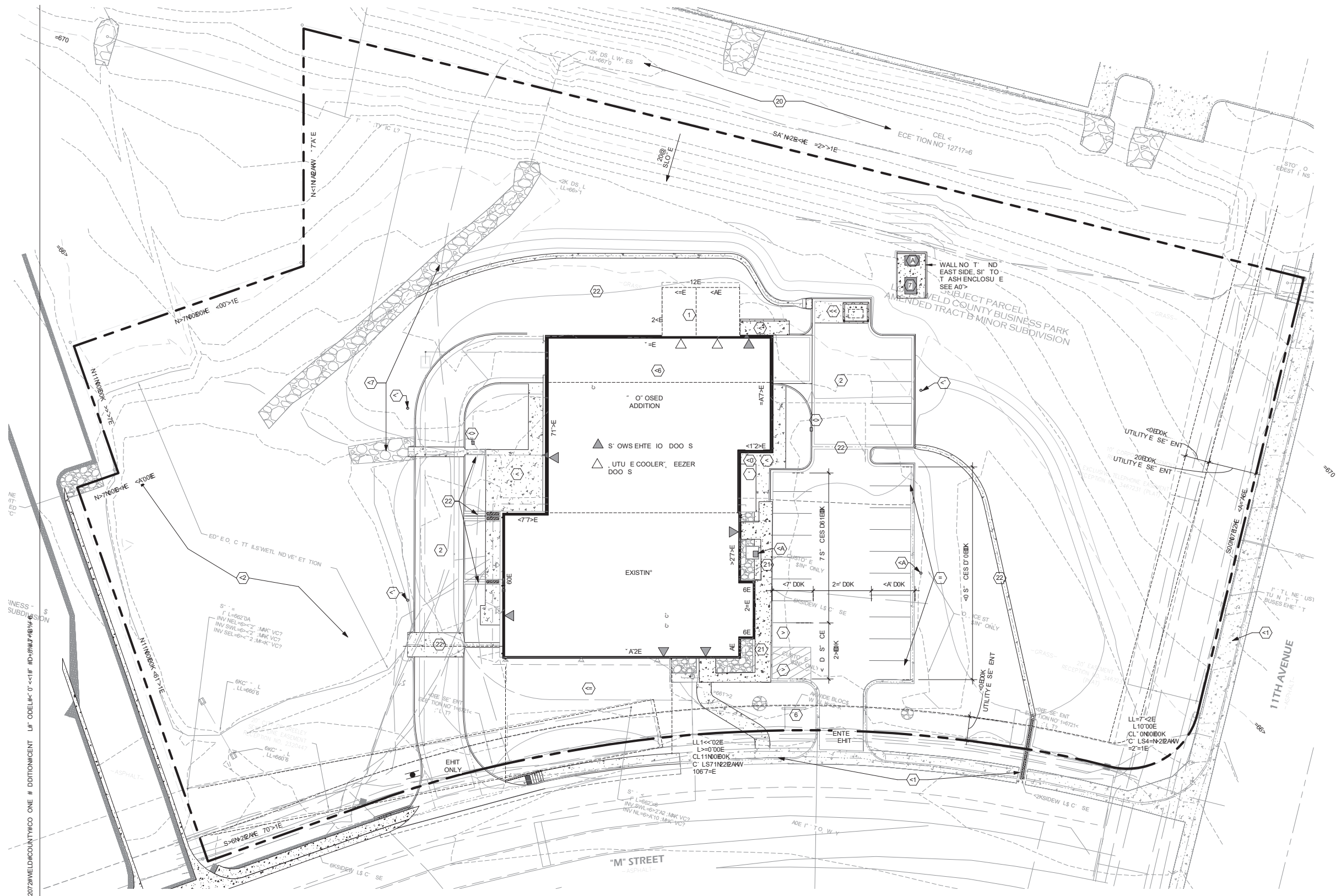
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WELD COUNTY
CORNER RENOVATION AND ADDITION
1121 M STREET, GREELEY COLORADO 80631

PROJECT #: 2072
 DATE: 06/09/2020
 DRAWN BY: JB

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CONSTRUCTION MUST BE IN ACCORDANCE WITH APPLICABLE CITY OF GREELEY CONSTRUCTION STANDARDS. THE CITY'S ACCEPTANCE SHALL NOT RELIEVE THE DESIGN ENGINEER'S RESPONSIBILITY FOR ERRORS, OMISSIONS, OR DESIGN DEFICIENCIES FOR WHICH THE CITY IS HELD HARMLESS




ACCEPTED BY: _____
 COMMUNITY DEVELOPMENT DIRECTOR DATE

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CITY OF GREELEY SIGNATURES
 CONSTRUCTION MUST BE IN ACCORDANCE WITH APPLICABLE CITY OF GREELEY CONSTRUCTION STANDARDS. THE CITY'S ACCEPTANCE ALLOWS FOR PLAN DISTRIBUTION AND PERMIT APPLICATION. THE CITY'S ACCEPTANCE SHALL NOT RELIEVE THE DESIGN ENGINEER'S RESPONSIBILITY FOR ERRORS, OMISSIONS, OR DESIGN DEFICIENCIES FOR WHICH THE CITY IS HELD HARMLESS.

ACCEPTED BY: _____ DATE _____

COMMUNITY DEVELOPMENT DIRECTOR _____ DATE _____

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 D E S I G N
 ARCHITECTURE/PLANNING
 3535 WEST 12th STREET, GREELEY, COLORADO 80634 T: 970.888.3273
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No.	Revision Description	Date
1	CITY COMMENTS	03/20/2020

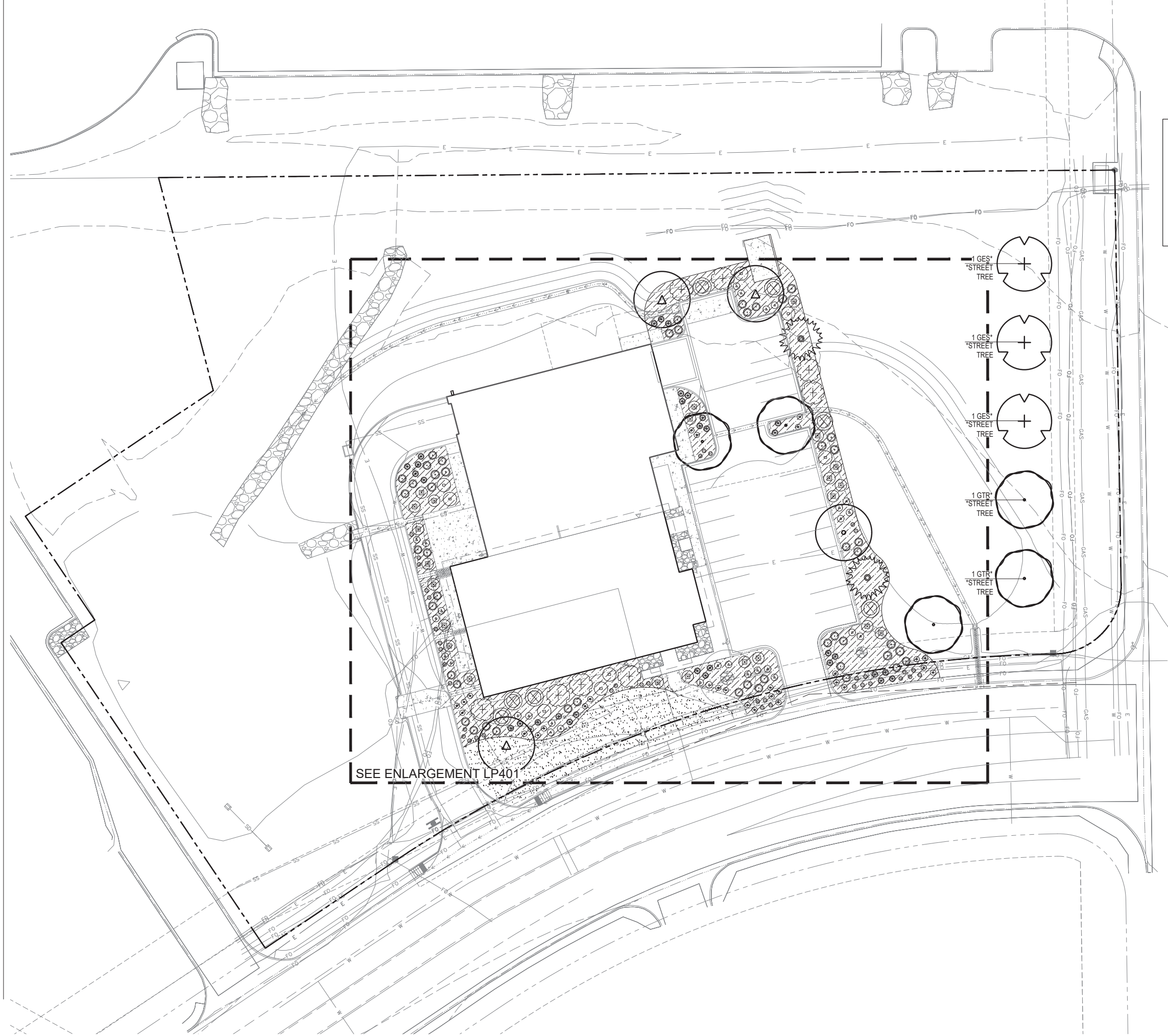
WELD COUNTY
 CORNER RENOVATION AND ADDITION
 1121 M STREET, GREELEY COLORADO 80631

PROJECT #: 2072
 DATE: 06/10/2020
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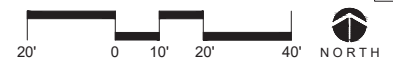
WELD COUNTY BUSINESS
 PARK PUD AMENDMENT

OVERALL
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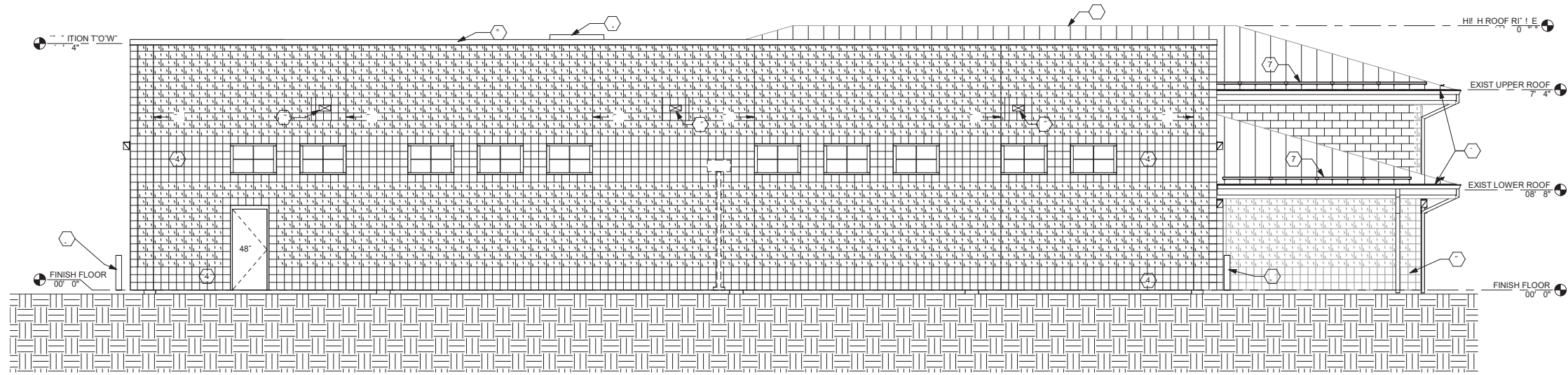


SEE ENLARGEMENT LP401



KEYNOTES:

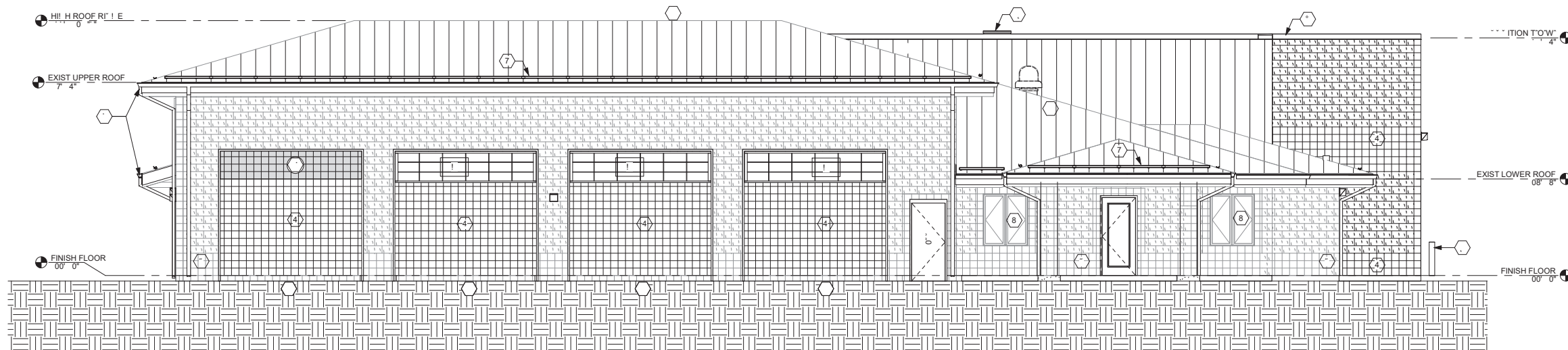
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- 6 NOT USE
- 7 OWNSPOUT



PUD REVIEW NORTH ELEVATION

1" = 0'

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PUD REVIEW SOUTH ELEVATION

1" = 0'

CONSTRUCTION MUST BE IN ACCORDANCE WITH APPLICABLE CITY OF GREELEY CONSTRUCTION STANDARDS. THE CITY'S ACCEPTANCE SHALL NOT RELIEVE THE DESIGN ENGINEER'S RESPONSIBILITY FOR ERRORS, OMISSIONS, OR DESIGN DEFICIENCIES FOR WHICH THE CITY IS HELD HARMLESS

ACCEPTED BY: _____ DATE _____
 COMMUNITY DEVELOPMENT DIRECTOR

Gsgarchitecture
 D E S I G N
 ARCHITECTURE/PLANNING
 3535 WEST 12th STREET, GREELEY, COLORADO 80634 T: 970.888.3273
 CASPER, WY | SHERIDAN, WY | LARAMIE, WY

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WELD COUNTY
 CORNER RENOVATION AND ADDITION
 1121 M STREET, GREELEY COLORADO 80631

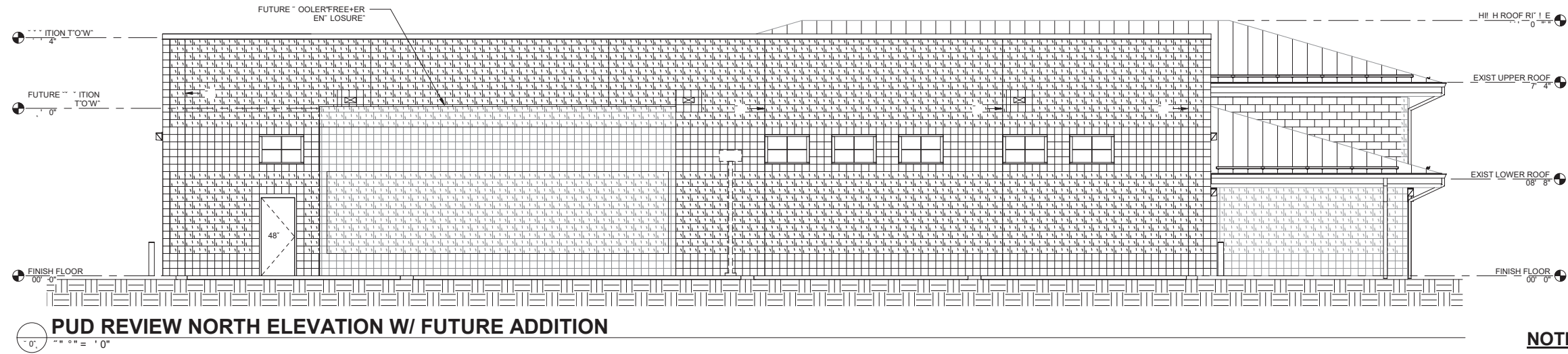
PROJECT #: 2072
 DATE: 06/09/2020
 DRAWN BY: JB

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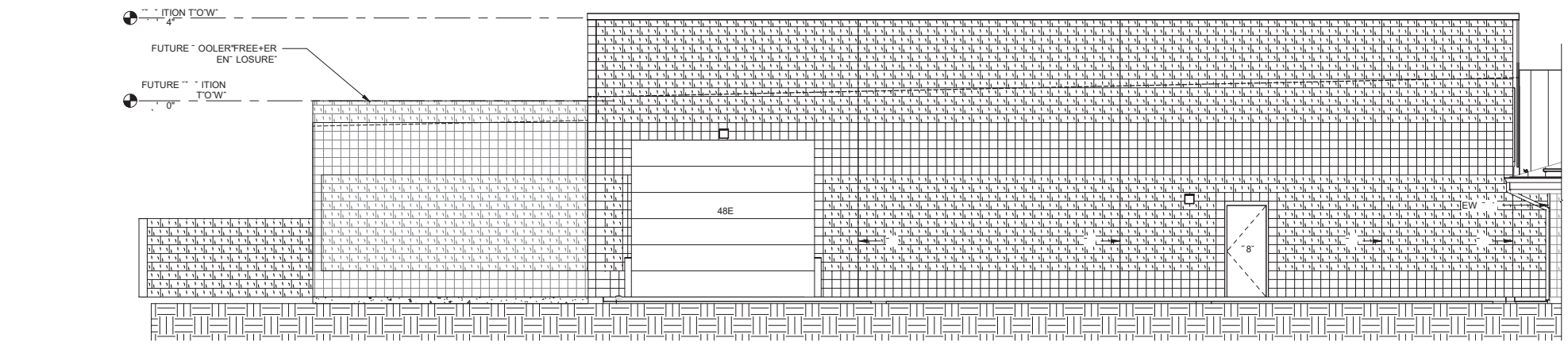
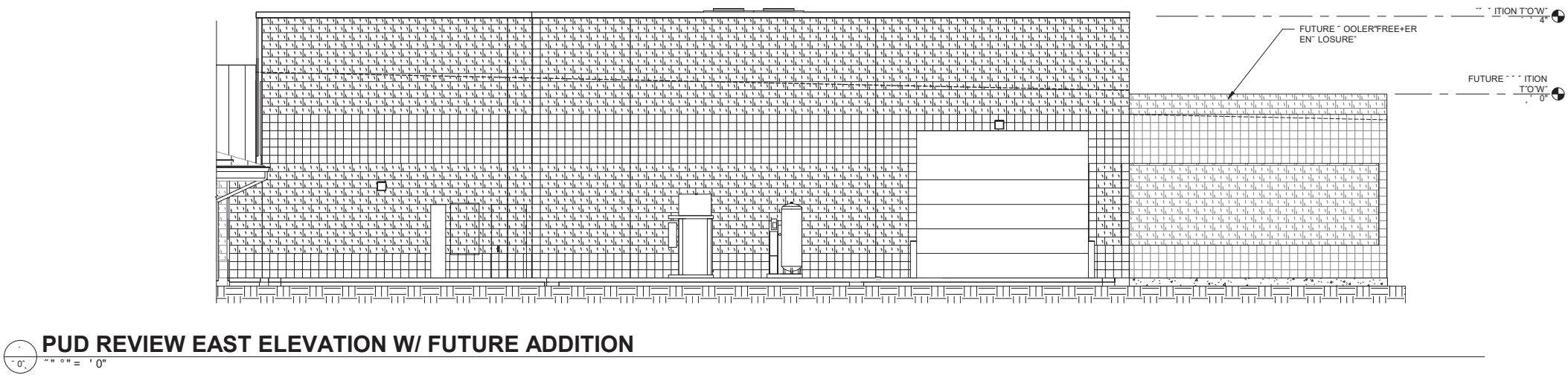
PU ELE TIONS

0"

WELD COUNTY BUSINESS PARK PLANNING # 00444.P# 4587.68.07.WEL. COUNTY ORCHARD. ENTRY LAYOUT. 07.09.2020



NOTE:
 FUTURE COOLER/FREEZER ENCLOSURE TO FOLLOW THE SAME ARCHITECTURAL STYLE AS THE CURRENT ELEVATION. WILL USE DECORATIVE SPLIT FINISH ROOF FINISH AS NOTED UNITS.



CONSTRUCTION MUST BE IN ACCORDANCE WITH APPLICABLE CITY OF GREELEY CONSTRUCTION STANDARDS. THE CITY'S ACCEPTANCE SHALL NOT RELIEVE THE DESIGN ENGINEER'S RESPONSIBILITY FOR ERRORS, OMISSIONS, OR DESIGN DEFICIENCIES FOR WHICH THE CITY IS HELD HARMLESS

ACCEPTED BY: _____ DATE: _____
 COMMUNITY DEVELOPMENT DIRECTOR

GSGarchitecture
 DESIGN ARCHITECTURE/PLANNING
 3535 WEST 12th STREET, GREELEY, COLORADO 80634 T: 970.888.3273
 CASPER, WY | BERKIDAN, WY | LARAMIE, WY

N4" R/C, A8" / 50'-948" '79
 1/8" = 1'-0" # ENTS
 1/16" = 1'-0" # ENTS SUB @ 0.1' = 0.0
 1/32" = 1'-0" # ENTS SUB @ 0.05' = 0.0

WELD COUNTY
 CORNER RENOVATION AND ADDITION
 1121 M STREET, GREELEY COLORADO 80631

PROJECT #: 2072
 DATE: 06/09/2020
 DRAWN BY: JB

WELD COUNTY BUSINESS PARK PLANNING # 00444.P#

PUD ELEVATIONS W/ FUTURE SECTION IN LAYOUT

Tract B Weld County Business Park PUD, 1st Amendment (PUD2020-0001)

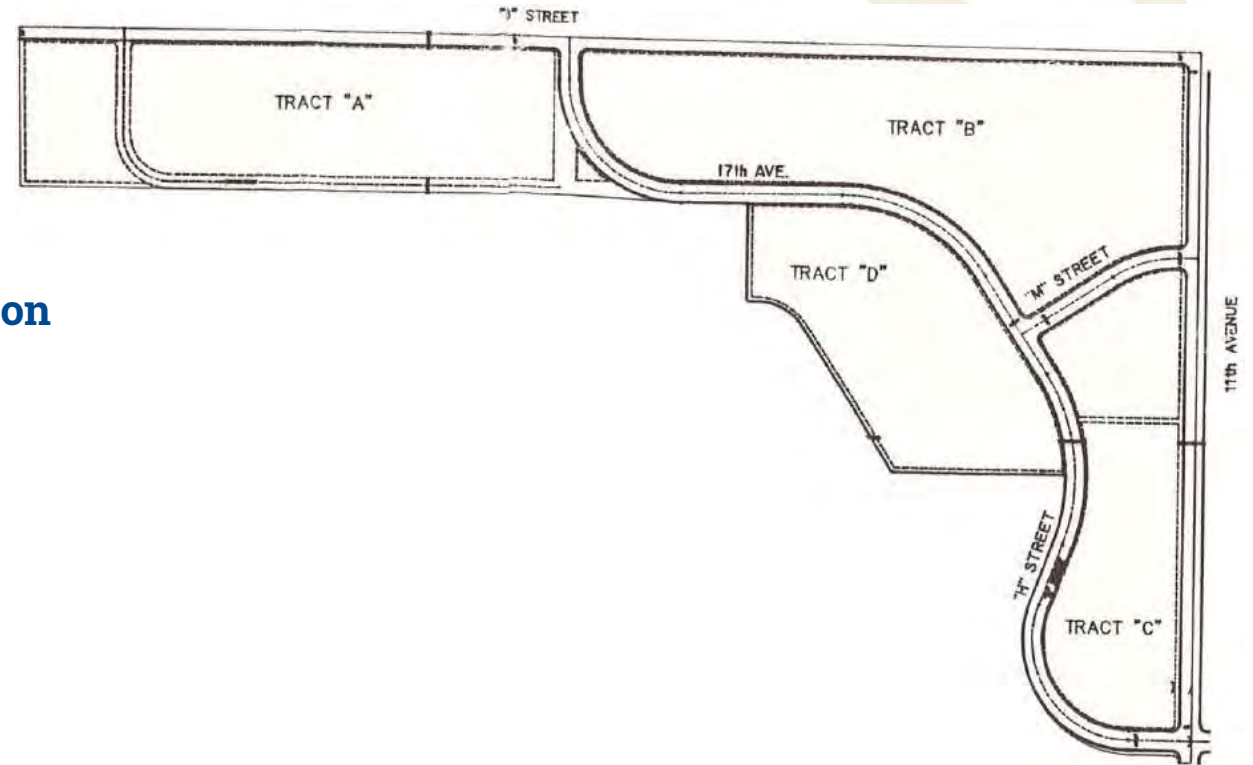
City Council

July 21st, 2020

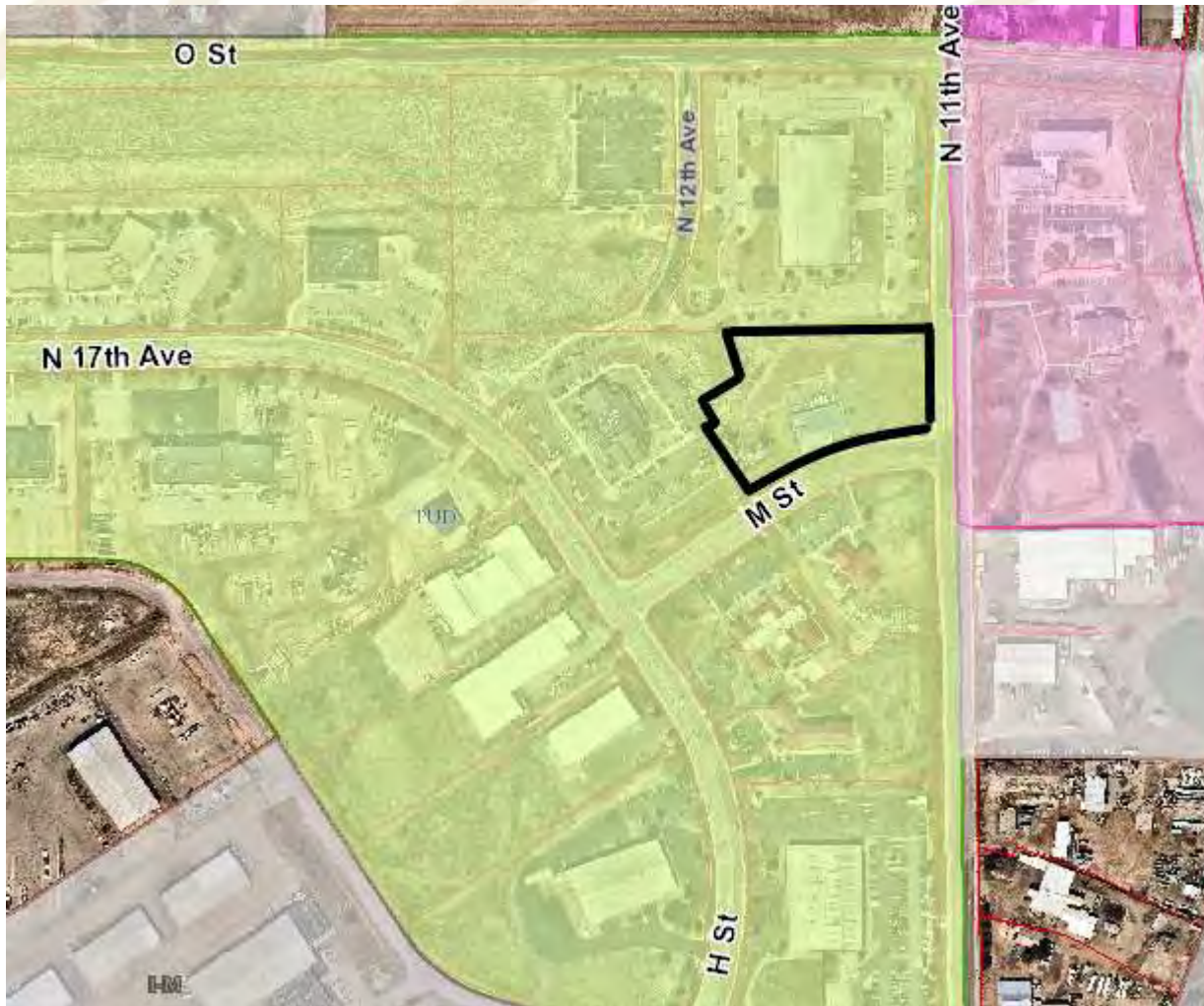
Kira Stoller, Planner II

Background

- **Request:**
 - **Final PUD Amendment to allow for construction of 6,715 square foot building addition**
- **Weld County Business Park PUD:**
 - **Adopted in June 1988**
 - **Tract B was designated for commercial & industrial uses**

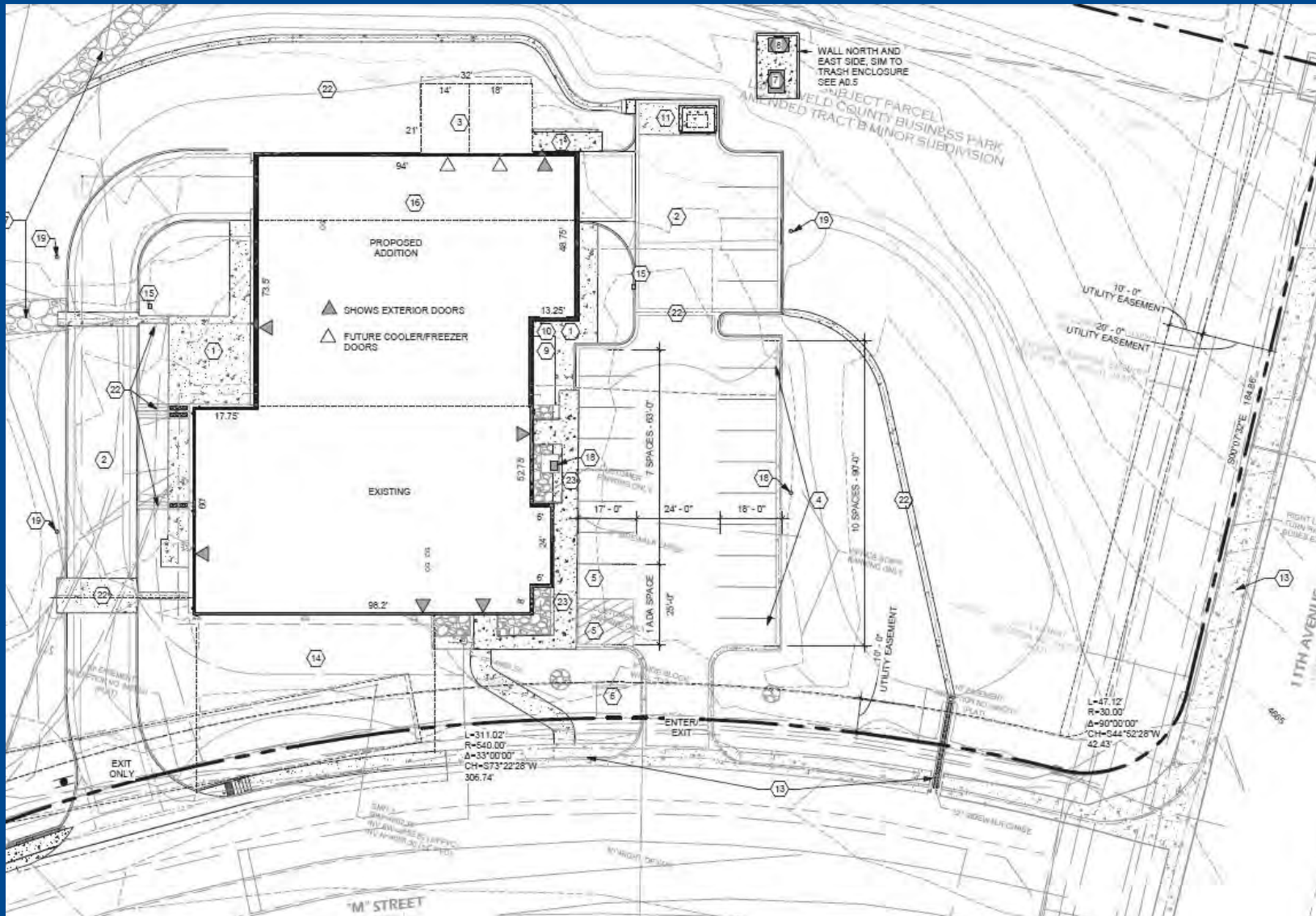


Location



- **Northwest corner of intersection of N 11th Avenue & M Street**
- **Surrounding Land Uses**
 - **North: Office (Weld County Administration)**
 - **South: Rehab center (Alternative Homes for Youth)**
 - **East: Emergency shelter (Guadalupe Community Center)**
 - **West: Medical office (North Range Behavioral Health)**

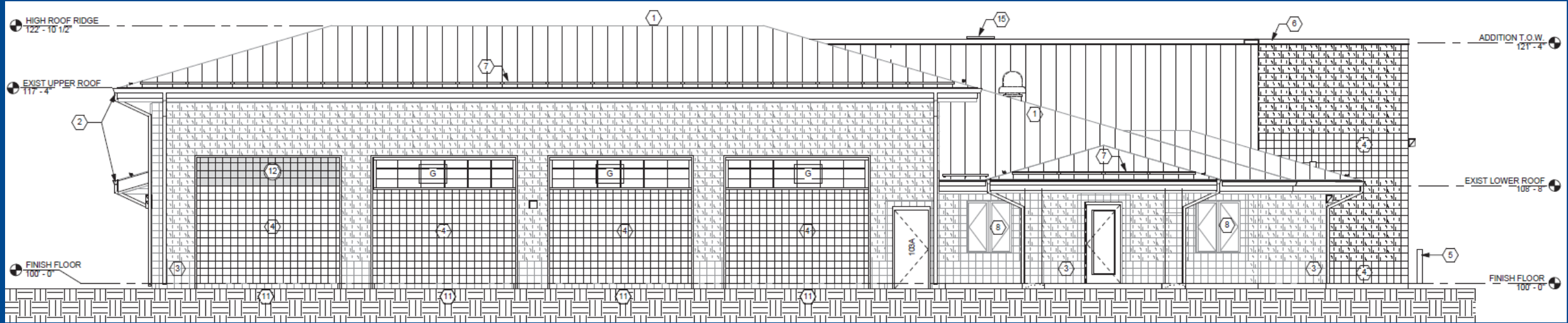
Site Data



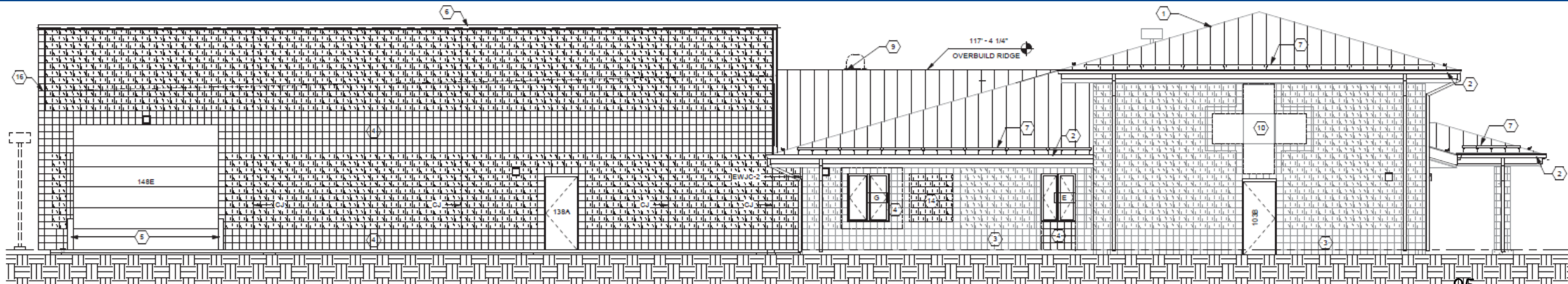
- Subject site was previously approved for development of Weld County Ambulance Service Facility
- Applicant proposes to convert building into Weld County Coroner's Office

Elevations

South

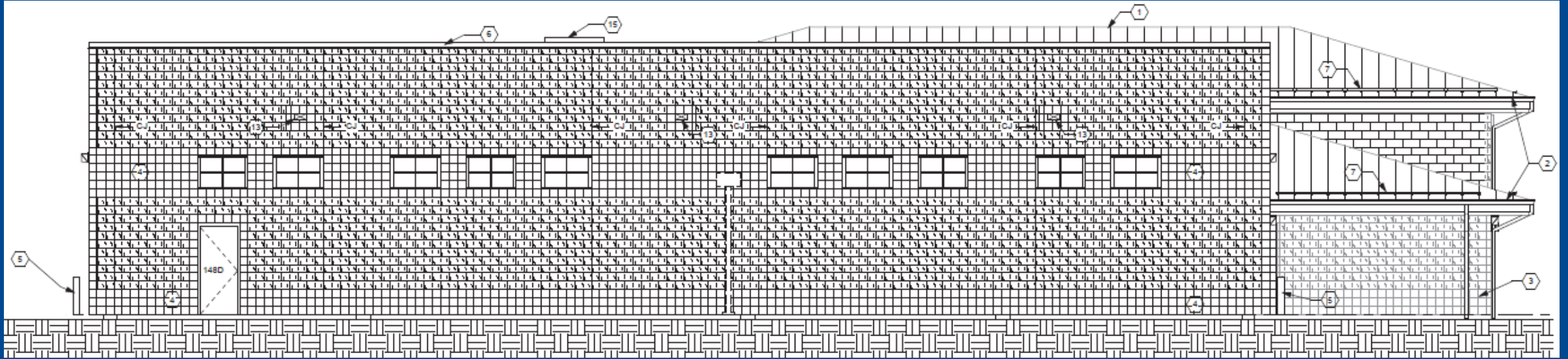


West

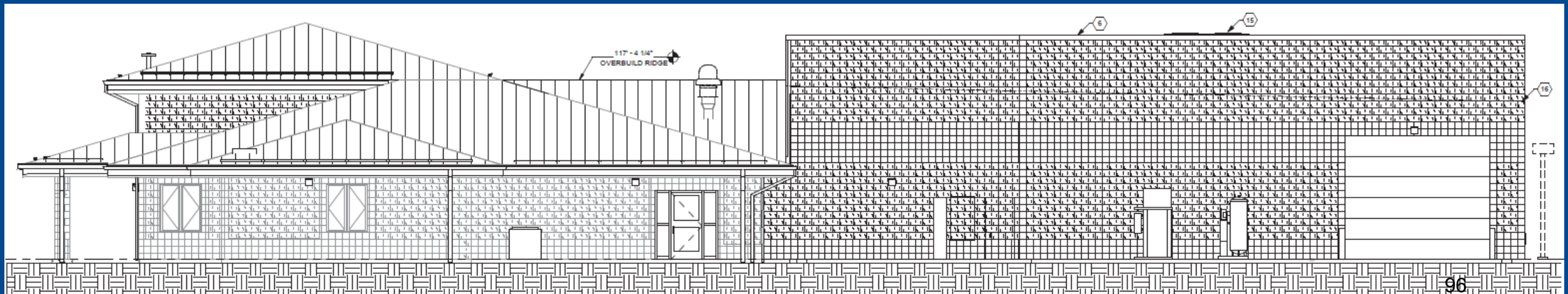


Elevations

North

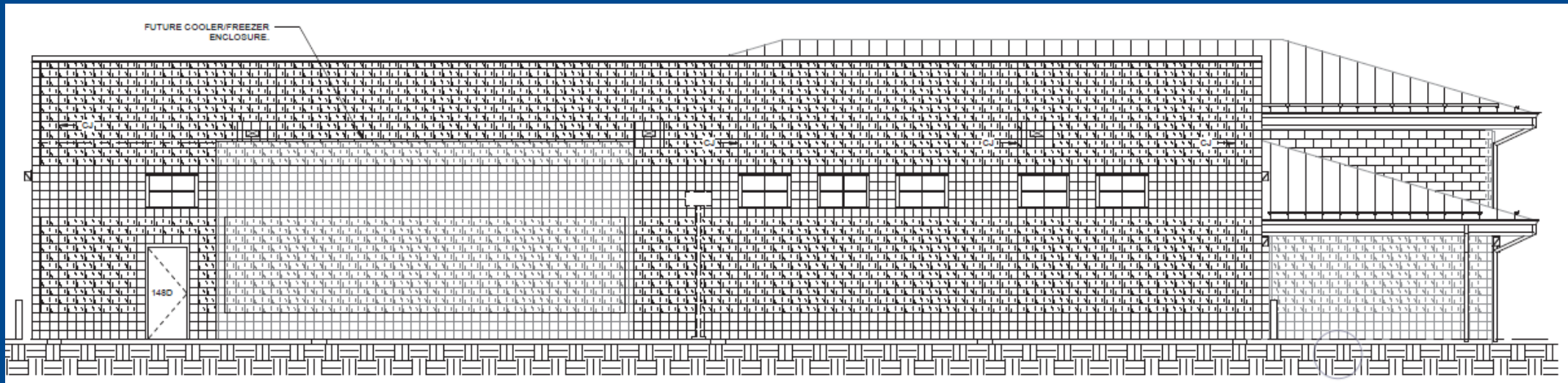


East

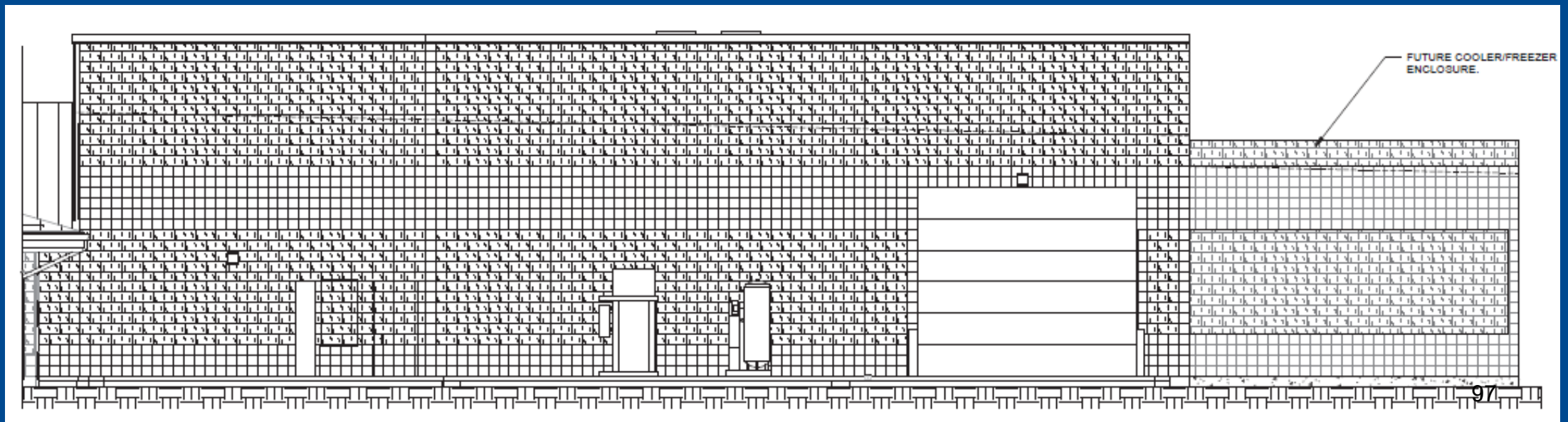


Elevations (with future cooler enclosure)

North



East



Site Photos



Existing south & west elevations



Existing east elevation

Site Photos

Existing north elevation



Approval Criteria

Section 18.32.140(c) Substantial Conformance with Final PUD	
YES	1. Building Elevations
	<i>Align with material & design of surrounding structures.</i>
YES	2. Landscaping
	<i>Slight reduction in lot coverage, but site will still contain 76% open space.</i>
YES	3. Signage
	<i>Propose to revise sign regulations to comply with C-H zone district.</i>
YES	4. Photometric Plan
	<i>Adding two additional freestanding signs, for a total of four on site.</i>
YES	5. Parking
	<i>Stall count to be reduced by 12 spaces, but still meets minimum requirement.</i>

Recommendation

Planning Commission

- **June 23, 2020**
- **APPROVAL (unanimous)**



Questions?

Council Agenda Summary

July 21, 2020

Agenda Item Number 13

Benjamin Snow, Economic Health & Housing Director, 970-350-9384

Title:

Strategic Housing Plan Progress/Update

Background:

Housing remains a top priority of the City of Greeley, as it is one of 8 key strategic foresight areas of the City Council's Vision for 2040 identified earlier this year under the banner of 'Your Home is Here'.

Your Home is Here states that "In 2040, Greeley is a distinctive character-rich community known for its high-quality standard of living. Residents have access to an amazing variety of housing options including style, price, and location. Our unique neighborhoods are built around the village concept, featuring entertainment, retail, parks and dining options within a central, walkable location.'

Because communities are largely defined by the type, style, and cost of housing it is important for Greeley to have a clear understanding of current housing conditions with strategies to shape future growth.

Through a variety of policies, programs, and regulations, the type, number, and affordability of new and existing housing can be influenced. Housing was a key component of the *Imagine Greeley Comprehensive Plan*. However, due to the complexity of housing issues and its impact on community well-being, the *Imagine Greeley Comprehensive Plan* called for a deeper examination into housing policy through the development of a Comprehensive Housing Strategy.

The creation of the Strategic Housing Plan took place during 2018, with the help and input from a Housing Accessibility Task Force, data assistance from outside consultants, and the support and analysis of city staff. The Housing Accessibility Task Force met five times during 2018 to discuss challenges facing Greeley's housing market and brainstorm possible solutions. Working closely with city staff, the Housing Accessibility Task Force identified seven key constraints or challenges to housing affordability:

1. Escalating cost of raw water;
2. Rising cost of construction and development related costs;
3. Lack of financing;
4. Lack of skilled labor;
5. Rising costs of existing housing;

6. Flat wages; and
7. Missing homes not built during the Great Recession and Greeley's residential downturn.

The Task Force includes real estate professionals, affordable and market-rate housing providers, nonprofit and for-profit developers, and city staff and it remains active to advise on specific initiatives.

The City Council adopted the *Strategic Housing Plan* in early 2019. The plan explores the challenges above and provides nine recommended strategies to address housing affordability and supply. These include:

1. Amend the Development Code to promote housing choice;
2. Minimize development costs for affordable housing;
3. Engage alternative housing providers to build affordable housing;
4. Improve the housing product mix;
5. Address the impact of raw water cost on housing affordability;
6. Complete subarea and neighborhood plans;
7. Create more ownership, move-up, and executive housing options;
8. Encourage vocational training, and apprentice programs for building trades;
9. Facilitate development of manufactured home communities as an important affordable housing option.

The action items listed in the plan each require separate and specific implementation plans. With this agenda item, staff will share the progress made since plan adoption.

Decision Options:

For information only.

Attachments:

Slide Deck
Memos from Directors
NoCo Housing Now Summary
GIS Screenshot
Improving Housing Affordability Handout
Dry Utility Jurisdictional Comparison



Community Development Department MEMORANDUM

TO: Roy Otto, City Manager
 Becky Safarik, Assistance City Manager

RE: Recap of 2019 Housing Plan Implementation work program

FROM: Brad Mueller, Director Community Development *B/M*

DATE: 2/28/2020

This memo provides an update of work completed for 2019 by the Community Development Department and is in advance of our next one-on-one meeting. The attached memo from last year lists the whole 2019 Housing Plan Implementation Work Program.

Implementation/work item	Status
<i>Evaluate costs and benefits of having City front-end sewer trunk lines</i>	Completed. Have worked with Water/Sewer to implement Local Improvement Districts for the landowners of Ashcroft Draw (Cobblestone) and the greater Lake Bluffs service area (i.e., Poudre Trunk Line). In addition, the on-going Sewer Master Plan seeks to identify development predictability; this information could be used to create economic development priority areas.
<i>Update the Redevelopment Resource Guide</i>	Completed. Seeking final approval/edits from EH&H before posting; otherwise is available for use.
<i>Adopt short-term rental (e.g. AirBnB) regulations</i>	Worksession with Council is March 3. Public and committee engagement is complete; final adoption will depend on Council feedback at the worksession.
<i>Implement the "Water Smart Neighborhood Policy"</i>	Nearly all details have been completed to pilot this concept with the Cardinal Acres subdivision (20 th Street & near 66 th Ave). Likely next pilot would be Cobblestone.
<i>Amend the Development Code for housing</i>	Preliminary elements have been identified (minimum lot size, subdivision requirements, etc.), but this will be fully implemented with the overall Development Code update.



Department of Economic Health & Housing MEMORANDUM

TO: Roy Otto, City Manager
RE: 2019 Proposed Housing Plan Implementation Work Program
FROM: Benjamin Snow, Director, Economic Health & Housing
CC: Becky Safarik, Assistant City Manager
Brad Mueller, Director, Community Development
DATE: April 9, 2019

In February, City Council adopted the *City of Greeley Strategic Housing Plan*. The Plan included a variety of potential strategies that were designed as ways to address the nine adopted Strategies and their sub-elements. We have reviewed these and recommend the following work program items for 2019. These were chosen based on a combination of significance to the main goal, existing department workload, and/or relative ease of implementation.

Economic Health & Housing Department

- Develop a reporting, monitoring and enforcement program for any deed-restricted affordable housing that results from other work program items.
(Supports Strategy 1 and others. Any new programs that result in creating designated affordable housing will require a city monitoring program to ensure that they remain affordable and used by the targeted low-income population. GURA already does this with some of our existing programs. This role would be expanded.)

Start Date: Now

Target Completion Date: 2nd Quarter 2019

- Explore working with community land trusts to create a shared equity home ownership program.
(Addresses Strategy 4: Improve the housing product mix. This would explore the basics of this concept.)

Start Date: Now

Target Completion Date: 3rd Quarter 2019

- Identify under-utilized sites that could be re-purposed for housing.
(Addresses Strategy 6: Complete sub-area and neighborhood plans. This would create an inventory of potential sites; examples include churches with extra land holdings and the mall.)

Start Date: Now

Target Completion Date: 3rd Quarter 2019

- Partner with one or more housing providers to construct attainable housing. (Addresses Strategy 3: Engage alternative housing providers. This would likely start with GURA, the High Plains Housing Development Corporation, and Habitat for Humanity, but would expand after 2019 to include others.)

Start Date: Now

Target Completion Date: 4th Quarter 2019

- Explore alternate home-building technology options for use in Greeley. (Addresses Strategy 9: 9. Facilitate development of manufactured home communities. This would provide a structured report on the possibility of attracting an emerging home-building technology company to Greeley.)

Start Date: 3rd Quarter 2019

Target Completion Date: 4th Quarter 2019

In coordination with Community Development Department

- Evaluate the risks, costs, and benefits of having the City front-end required trunk lines which would be reimbursed with impact fees. (Addresses Strategy 2: Develop financial strategies that minimize development costs for affordable housing. This scenario may unfold with the proposed Lake Bluff development and would be evaluated for success.)

Start Date: Now

Target Completion Date: 3rd Quarter 2019

- Update the Redevelopment Resource Guide to include current pilot programs and incentive packages. (Addresses Strategy 2. This is a relatively easy item; updating it would make it more useable and accurate.)

Start Date: 3rd Quarter 2019

Target Completion Date: 3rd Quarter 2019

- Adopt short-term rental (e.g. AirBnB) regulations. (Addresses Strategy 1: Amend the Development Code to promote housing choice. Short-term rentals are competing with live-in housing. Also, topic is becoming a frequent citizen complaint.)

Start Date: Now

Target Completion Date: 4th Quarter 2019

- Implement the “Water Smart Neighborhood Policy” and the “Water Smart Common Area Policy” in conjunction with the Water & Sewer Department. (Addresses Strategy 5: Address the impact of raw water on housing affordability. Pilot programs are anticipated for a couple up-coming subdivisions.)

Start Date: Now

Target Completion Date: 4th Quarter 2019

- Amend the Development Code to incentivize the inclusion of affordable housing in new development.
(Addresses Strategy 1: Amend the Development Code to promote housing choice. As an example, zoning height limits could be increased, if a development includes affordable housing.)

Start Date: 3rd Quarter 2019 Target Completion Date: 4th Quarter 2019

In coordination with CMO and CEO

- Work with realtors to explain/exploit existing down-payment assistance programs.
(Addresses Strategy 7: Identify under-utilized sites that could be re-purposed for housing. This would enforce existing efforts, on the way to potentially developing more home ownership incentive programs after 2019.)

Start Date: Now Target Completion Date: 4th Quarter 2019

- Package and promote all existing housing programs, initiatives and incentives.
(Addresses most Strategies. Using the Communication and Engagement Office, print and electronic materials would be produced that bring together all existing city-sponsored or city-associated housing programs, with the goal of optimizing what already is in place.)

Start Date: Now Target Completion Date: 4th Quarter 2019



<https://nocohousingnow.org/>

A Call for Regional Housing Dialog

The Fort Collins Board of REALTORS®, in support of the City of Fort Collins' Affordable Housing Strategic Plan, has established NoCo Housing Now: A Call for Regional Housing Dialog. This campaign will encourage our local elected officials to consider regional dialog that identifies approaches to address housing affordability.

This campaign seeks to assure that the critical regional issue of housing affordability is being discussed on a regional scale. FCBR is supporting this effort via outreach to local government agencies with an offer of support for the formation of a regional task group, or other similar approaches that bring our communities together.

Now is the Time

The Fort Collins Board of REALTORS® believe now is the time for municipalities and key stakeholders to come together to address housing affordability with regional cooperation in mind.

History

NoCo Housing Now is an effort begun by the Fort Collins Board of REALTORS® in conjunction with the City of Fort Collins and NoCo Home Builders Association to establish a regional dialog about housing affordability in Northern Colorado.

From this initial effort, a regional coalition of the willing made up of over 50 partners, including 13 different cities/towns and 2 different counties has been formed. The NoCo Housing Now Coalition is a blend of interests comprised of non-profits, city/county staff, elected officials, housing industry representatives, economic interests, grassroots members, small & large businesses, University stakeholders, and interested community members.

The purpose of NoCo Housing Now is to serve as a convening group for discussion, partnerships, and intentional efforts to educate and address key issues related to housing affordability in Northern Colorado.

Tools Markup Measure



Navigation

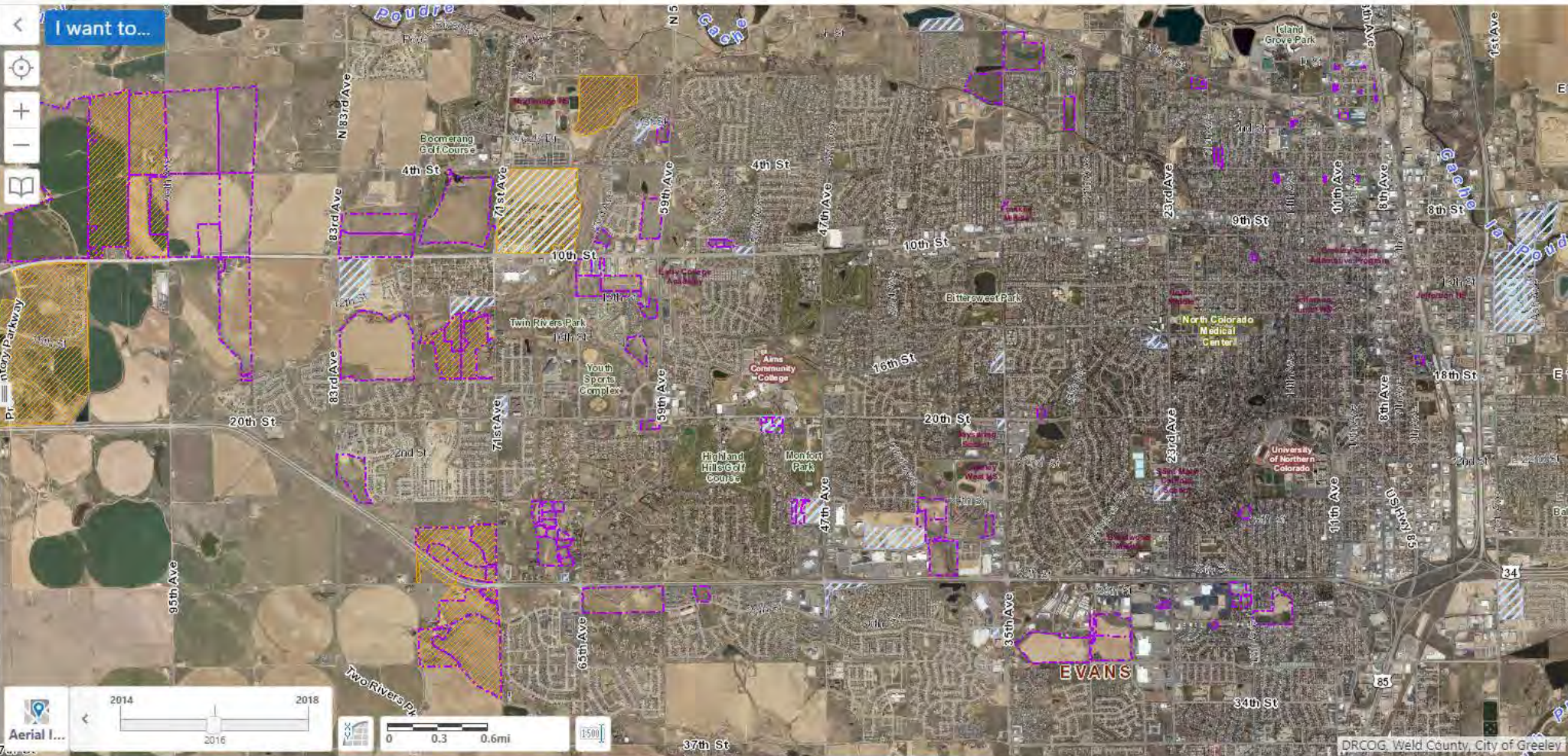
Searches

Sharing

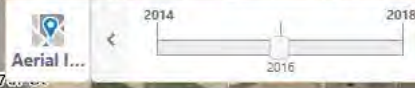
Layers

Economic Health and Housing

- Land Development
 - Potential Development Sites
 - Residential
 - Zoning
 - Metro Districts
 - Development Concept Ma...
 - Zoning
- Districts
- FEMA Flood Areas
- Utilities
- Schools
- Parcel Boundaries
- 2013 Contours 2 Ft
- Greeley Basedata
- Aerial Imagery March 2014
- Aerial Imagery March 2016



Home Panels Layers



Improving Housing Affordability - City of Greeley

Top 20 List

(Updated/Revised July 7, 2020)

The following list was submitted by a group of Greeley developers to communicate opportunities that the housing construction and land development industries see for increased affordability. It represents the collective ideas of several active single-family housing developers in the City. City of Greeley staff has researched each of these considerations, with the following findings and responses, current as of July 7, 2020.

Horizontal Construction Ideas:

1. Reduction in the Right of Way Permit Costs (currently at \$2,000 per lot, other jurisdictions at \$700 - \$1,000 per lot)

Staff research: The Greeley fee is set as cost recovery, designed only to cover the costs of administrating the permit and making the inspections (Public Works technician and Civil Inspector). This fee could be reduced, but overages for associated costs would then need to be paid for through the General Fund (or other eligible revenue source). In general, comparisons between jurisdictions are accounting for different services. As such, it does not seem advisable to adjust these fees at this time.

2. Change specifications for pipe bedding from washed 3/8" chip to squeegee (cost difference is approx. \$15 per ton less)

Staff research: The City would consider alternative methods, which can be discussed during the design stage. Squeegee, specifically, might be allowed under certain circumstances. Some considerations include that staff's experience is that contractors cannot get 3/8" chip because it is not available; and, generally, the Water/Sewer Department prefers the Class B material (the 3/8" chip), because it is angular and locks better versus with squeegee, which is rounder and does not lock-in. Squeegee is acceptable for water line construction due to minor grade changes being acceptable for pressured pipe. The City will still require CDOT Class B or 3/8" chip or equivalent for all sewer line work; this is due to needing exact slopes and not wanting bellies in the pipe construction. Water and Sewer staff are talking to local mining companies (Aggregate & Martin Marietta) to get an equivalent CDOT Class B product that is locally available and are working to update the specifications to reflect these changes.

3. Change conduit specification from HDPE to Schedule 40 PVC (significant labor and material cost savings)

Staff research: As with the suggestion above regarding pipe bedding, alternative methods and materials can be proposed early in the design process. HDPE remains the preferred conduit, however, because it is generally stronger and more flexible than PVC. This serves long-term interests in that it helps when in the future someone accidentally digs up the pipe; the pipe may not fully break if it is HDPE instead of PVC. If the conduit is bored it will be HDPE. These conduits are for dry utilities just barely under the road so they are subject to getting hit by potholing that occurs after the roads are built, and they can be in the frost

zone and can break when the road settle. The City's focus is that we do not want to compromise quality and then create a long-term issue. That said, there may be room to adjust and still meet the need, on a case-by-case basis. Staff believes there are short distance conduit runs that might be best acceptable for installation with Schedule 160 or 80 PVC. However, staff does not believe that PVC will be more cost effective or preferable.

4. Reduce construction water costs (other jurisdictions charge approximately \$4 per 1,000 gallons less)

Staff research: From an audit of other jurisdictions, \$4/1Kgal is below the regional market and below cost recovery. Greeley's cost seems consistent with other jurisdictions. Lowering the cost would shift the cost from new development to current rate-payers. The Water & Sewer Department notes that construction water is a unique water service and priced high based upon risk and other factors. Construction water generally does not have a permanent meter and has more risk associated with the provision of service. Metering this water from hydrants is on the honor system and sometimes does not have backflow prevention capability. The construction water user has not paid a PIF or raw water, and there is no base service availability charge associated with other accounts. Hydrant water service makes construction water available with risk on the City and prevents the builder from needed expensive water hauling and charges them only volumetric charge without any of the other costs. The audits of some other Colorado jurisdictions were as follows:

ELCO: \$8.00/kgal

Fort Collins/Loveland Water District: \$8.00/kgal

Fort Collins Utilities: \$13.36/kgal

Loveland Water: \$5.96/kgal

Denver Water: \$12.16/kgal

5. Change specifications for water line lowerings from Ductile Iron Pipe (DIP) to C900 PVC (significant labor and material cost savings)

Staff research: Both contractors and City prefer the C900 PVC. DIP or C900 PVC are both allowed by the City and its civil inspection team since they are equivalent products (coordinated with EDR and Civil Inspections). These details and specifications have been updated. The City of Greeley has made this change, and the standards in the criteria manual are part of an update that is in progress.

Vertical Construction Ideas:

6. Ability to buy a single large tap to serve attached home products and split that tap into individually metered ¾" services

Staff research: The City does in fact allow this scenario in limited cases if the housing product that is being developed makes sense to develop in this manner. This case-by-case decision is based on the type of housing product, density and the site. In all cases, it is essential that taps are sized for the use and the appropriate amount of raw water or cash-in-lieu of raw water is dedicated. Current Municipal Code indicates that each single-family detached building has its own tap, which does not preclude the City from supporting what is being suggested here for single-family attached. The relevant Code is as follows:

14.06.040 - Taps required; service line extensions prohibited.

- (a) Each detached single-family residential building, multi-family residential building, and non-residential building shall be served by a minimum of one (1) separate water tap and service line. Buildings with mixed residential and non-residential uses shall be served by separate water taps for the residential and non-residential components of the development.

The Water & Sewer Department's preference is that each housing unit has its own tap, which makes billing, service interruptions, and shut offs much easier to manage. The department also understands that some building sites are not conducive, mainly because of space availability, to having every unit served with a tap off a distribution line. Additionally, under a graduated PIF schedule (which is being studied in the Development Impact Fee Study), the scenario that is described within this question does not provide any financial benefit to the builder. The city would charge the graduated PIF based off the size of the housing unit, regardless of how many taps are built to serve the housing units.

- 7. Amend code to allow building of up to 5 attached townhome style units without requiring fire sprinkler systems

Staff research: Staff would not recommend this change. Significant changes to the Residential Code regarding residential fire sprinklers results in changes to the ISO (Insurance Services Office) ratings, which has implications for all Greeley residents. Furthermore, sprinkler systems in these types of structures are generally recognized to be an important safety feature and, since nearly all townhouse-style buildings are five units or less anyway, changing this standard would have the effect of eliminating this safety feature altogether. The Building Inspection and Fire Prevention Divisions of the City note evidence that residential fire sprinklers reduce the spread of fire, and the further potential impact on the attached dwellings. However, it is important to distinguish the type of system required is not the same as is required for commercial; the system for townhomes are a combination fire sprinkler system, not a full out 13D system that requires separate taps, backflow devices, and annual testing – all of which would, in fact, be more expensive.

- 8. Energy Code Testing/Inspections on up to every 10th home instead of every home

Staff research: Staff previously considered this suggestion, most recently and very specifically in the context of City Council's recent adoption of the 2018 International Energy Code. While the City understands that less inspections would require the builder to submit less tests, the challenge from a regulatory standpoint is unequal impacts – some builders would be subject to it, and others not. That is, if you happen to be the tenth application coming in, then you would be subject – and have to make arrangements that were not otherwise planned. If the regulation were per builder, then it would be predictable which the tenth unit was, and, unfortunately, that could lead to people “gaming” the system. Most importantly, adopting this standard for the Energy Code – that is, a sometime-approach – calls into question all building inspections, which are not done by sampling, but through a comprehensive inspection every time of all elements.

Development Policy Ideas:

9. Create a graduated Raw Water Requirement schedule based on lot size for homes built in communities **without** a non-potable system

Staff research: The raw water dedication calculation is essentially graduated based upon the lot size because the dedication per acre being divided by portion of the acre that each lot represents. Small lots pay a small amount of water or cash-in-lieu, and large lots have a larger raw water requirement. By Code, typical single-family subdivisions are required to provide of 3 AF/Ac based upon a refined calculation of acreage. Over recent years, the calculation of acres requiring dedication has been refined to reflect more efficient development and separate out land uses. The raw water dedication requirement calculation now subtracts out roads, removes commercial and multi-family areas for a separate raw water dedication calculation based upon the specific commercial or multi-family project. The Water & Sewer Department periodically reviews data on single-family residential raw water consumption. Factors such as efficient plumbing fixtures, water smart irrigation system, water wise landscapes, conversions to non-potable water supplies, increased urban density and the cost of raw water are among the factors influencing the water needed for urban growth. Because of the dedication calculation changes and increased density, the city has not seen data that would support a policy change.

Staff has been working across city departments on a pilot project that would apply to clustered/non-standard single-family subdivisions. For certain subdivisions that feature aggregated common areas and – typically – very small, non-individual, or new urbanist small individual single-family lots, a Water Smart pilot is being considered that would allow for a reduction in potable raw water dedication. In this pilot scenario, deed restrictions would be placed on common areas and/or individual residential lots, legally limiting the amount of water usable to less than what would have been allowed under the city’s current custom lot water budget. (Note that the water budget already is adjusted for lot size; this would be a limit beyond typical.)

10. Create a standard Raw Water Requirement for homes built in communities **with** a non-potable system (potable indoor use only)

Staff research: The City is reviewing this scenario and believes it is potentially attainable, but generally there have been none of these types of developments yet. The total volume of raw water for dedication (potable plus non-potable supplies) remains the same as it would be in a 100% potable project. The conceptual idea is that the potable raw water requirement or commensurate cash-in-lieu holds at 3 acre-feet/acre, and evaluated on the square footage for each lot, with the landscaped area served by non-potable subtracted out. It remains to be seen if this type of development can be economical given the additional infrastructure requirements; but the City invites the conversation on any such project or pilot.

11. Create a graduated Non-Potable Raw Water Requirement schedule based on lot size for homes built in communities with a non-potable system where they connect Greeley's non-potable system

Staff research: The City has been researching this scenario over the last year, with plans to continue reviewing the success of new policy using a Non-Potable Pilot Program. Because raw water dedication is evaluated on a per acre basis for the specific lot size, and the non-potable raw water requirement of 3 AF/Ac is evaluated on the potentially irrigable acreage, Greeley essentially already has a graduated raw water requirement for non-potable water. However, the City would, under the Pilot, consider deed restricted projects that can demonstrate a lowered raw water requirement if the landscape plans shows low- or medium-water need landscaping. The Non-Potable Pilot Program details these options, found at: www.greeleygov.com/services/ws/development/non-potable .

12. Create a graduated fee schedule for Water Plant Investment Fees based on the Potable Raw Water required for the home

Staff research: The City is currently contracted with Raftelis, a development impact fee consulting firm, to complete an update of the city's development impacts fees (including PIFs) by October of this year (2020). This process will include community engagement opportunities for developer input. However, the City recommended a graduated fee schedule based on lot size, a technique that Raftelis indicated already that they supported.

13. Create a graduated fee schedule for Sewer Plant Investment Fees based on the Potable Raw Water required for the home

Staff research: As with the Water Plant PIF, the City supports evaluating the technical merits of implementing a graduated Sewer PIF fee schedule based on a metric that would correlate to sewer contribution from a given property. Examples of correlated factors may be the number of plumbing fixture units or home square footage, and could be further evaluated as part of the current Development Impact Fee Study update. Based upon current data, Staff does not perceive the differences between large and small households on sanitary sewer flows to be significant enough to merit a graduated scale.

14. Create a graduated fee schedule for Non-Potable Water Plant Investment Fees (PIF's) based on the Non-Potable Raw Water required for a home.

Staff research: On a dedicated irrigation taps, the fee is currently graduated based upon acreage and landscape flow demands. Non-potable PIFs are approximately 70% of a potable water PIF, and large common areas, parks and schools are obvious opportunities for non-potable supplies for irrigation use. For dedicated house to house non-potable systems, there requires much more infrastructure per unit and these projects have been difficult to justify in economic terms. The City is considering other possibilities for cluster development or projects with common front yard irrigation where a single non-potable tap and an associated PIF could be calculated for that total irrigable area.

The City has been researching this scenario over the last year, coordinating technical evaluation within the 2020 Impact Fee Study and will consider the potential of a revised schedule as part of participation in a Pilot Program. Non-potable plant investment fees will generally be charged for larger swaths of irrigated land, but in cases where non-potable is serving home lots, the total PIF paid for that lot (both potable and non-potable) will not

exceed the potable PIF. Refer to the Non-Potable Pilot Program on the following webpage: www.greeleygov.com/services/ws/development/non-potable .

15. Create policy to allow drilling of new wells to supply non-potable systems with augmentation provided by the City of Greeley and regional recharge ponds

Staff research: This proposal presents some significant challenges for the City. Greeley's current water right decrees do not allow for augmentation of future well sites. A water court application would have to be filed for an augmentation plan, costing up to \$200,000, and it would have to be managed by city staff. Secondly, augmentation supplies are limited in quantity and any excess supply Greeley has is a source of revenue. Alternatively, Greeley is making significant investments in non-potable infrastructure and updating its Non-Potable Master Plan. Developing non-potable water resources and a robust system of storage and delivery infrastructure is an important part of the City's long range strategic planning. There are several multi-million dollar capital projects planned to expand the City's non-potable capacity. Additionally, Water & Sewer and Community Development have been working on non-potable policy that includes reduced plant investment fees (PIFs) for non-potable irrigation taps, a reduced non-potable raw water dedication cash-in-lieu fee and financial collaboration with the City. Municipal code can and should preclude any property owner within Greeley from having a drinking water well for potable uses.

16. Create policy to fix the cash-in-lieu costs for a development (suggested structure would have a set time frame to purchase and cost escalators built into it) [*clarification: cash-in-lieu for potable raw water is the reference*]

Staff research:

The City is willing to reconvene conversations with the development community regarding the cash-in-lieu program. The City's cash-in-lieu program is priced preferentially to the current water market costs because the cash-in-lieu program allows the builder and developer community to buy into the City's historic water resource portfolio. The City's water resource portfolio has been acquired over decades of investment by the City's existing customers. Water & Sewer's cash-in-lieu policy evolved in 2019 to allow for payment of raw water at the time of building permit, thereby reducing carrying costs and market volatility risks associated with an upfront raw water dedication at the time of platting. The City would discuss and consider certain performance metrics that would have to be met for a particular development to have their cash-in-lieu costs defined for future years. There is an annual cost to the City of early acquisition and holding valuable water assets that are not dedicated to an end use. Sound financial stewardship and rate making best practices say that costs should be recovered and reinvested to the benefit of all users on the municipal water system. Therefore, a fixed cost for specific filings would need to include some type of takedown schedule and a defined annual adjustment to cover city debt service on the water resources and any other applicable costs. This schedule would likely be addressed in a development agreement and would have strict sunset provisions.

The following code provision allows the City to vary from the norm:

14.06.190 - Special agreements approved by City Council.

The provisions of this Chapter 14.06 shall not preclude the City Council from approving special agreements with applicants for water service regarding the requirements for development within the City. (Ord. 39, 2019 §1(Exh. A), 9-17-2019)

The circumstances under which a fixed cash-in-lieu price would be considered are undefined, but it would have to fit the City's housing or economic development goals and meet utility cost recovery principles. Water and Sewer staff would not make a choice like this on its own, but in conjunction with Community Development, Economic Health and Housing, the City Manager's Office, the Water and Sewer Board, and City Council.

17. Create a cost sharing policy for arterial roadways

Staff research: The City is currently contracted with Raftelis, a development impact fee consulting firm, to complete an update of the city's development impacts fees (including PIFs) by October of this year. This process will include opportunities for developer input. One topic planned for discussion is the methodology for transportation impact fees. Conceptually this may not result in significantly different rates, since those are based on actual impacts from new demand to the system; however, when and how arterials are accounted for could change.

18. Create a cost sharing policy for other offsite improvements

Staff research: The City is starting to re-introduce Local Improvement Districts (LIDs) that would support major infrastructure elements for new development that are specifically for a limited area of the City, such as a sewer lift station for a specific sub-basin or a new large capacity trunk sewer main that makes service available in a new sub-basin. This LID tool is consistent with Council's position on growth paying its way, and the City being a partner in facilitating that infrastructure. This tool is proposed for the Sharkstooth Bluff and Ashcroft Draw drainage areas initially, and it allows developers to buy a proportionate share of their infrastructure, without having to carry the full burden of being the first (and potentially only) contributor to an initial infrastructure element that may be larger than needed for their development.

19. Clarify the development process and commit to timelines for each stage of the process

Staff research: Community Development, which administers the Development Review process for the city, has long had performance goals associated with the development process. Generally, these are three weeks turnaround for the initial review of most land use cases, and two weeks for subsequent resubmittals. In the case of Building Permit reviews, the goal for Commercial building plans is 20 working days, as an example. Highlights of various performance metrics are found in the City Manager's regular reports at <http://greeleygov.com/government/cmo/work-program>, and the Community Development Director can provide copies of monthly and year-end performance statistics for all Department activities upon request.

20. Simplify/Shorten the development process (we will seek to give you specific examples as we go forward)

Staff research: The Community Development Department adopted a multi-faceted software tool called TRAKiT in 2018, which provides real-time tracking and data for applicants, on-line submittals, and – on the staff side – automated workflow and accountability tools. In adopting this tool, staff rigorously reviewed the development review and permitting processes to find ways to shorten, improve, clarify, and standardize them. Significant changes and documentation were made; these workflow documents can be provided upon request. Despite significant changes at the time, the Department commits to continuously looking for process improvements yet today, now under the city-wide initiative of Operational Excellence. A short list of these efforts include attracting more experienced staff, standardizing and improving training, developing Standard Operating Procedure manuals, conducting customer surveys.

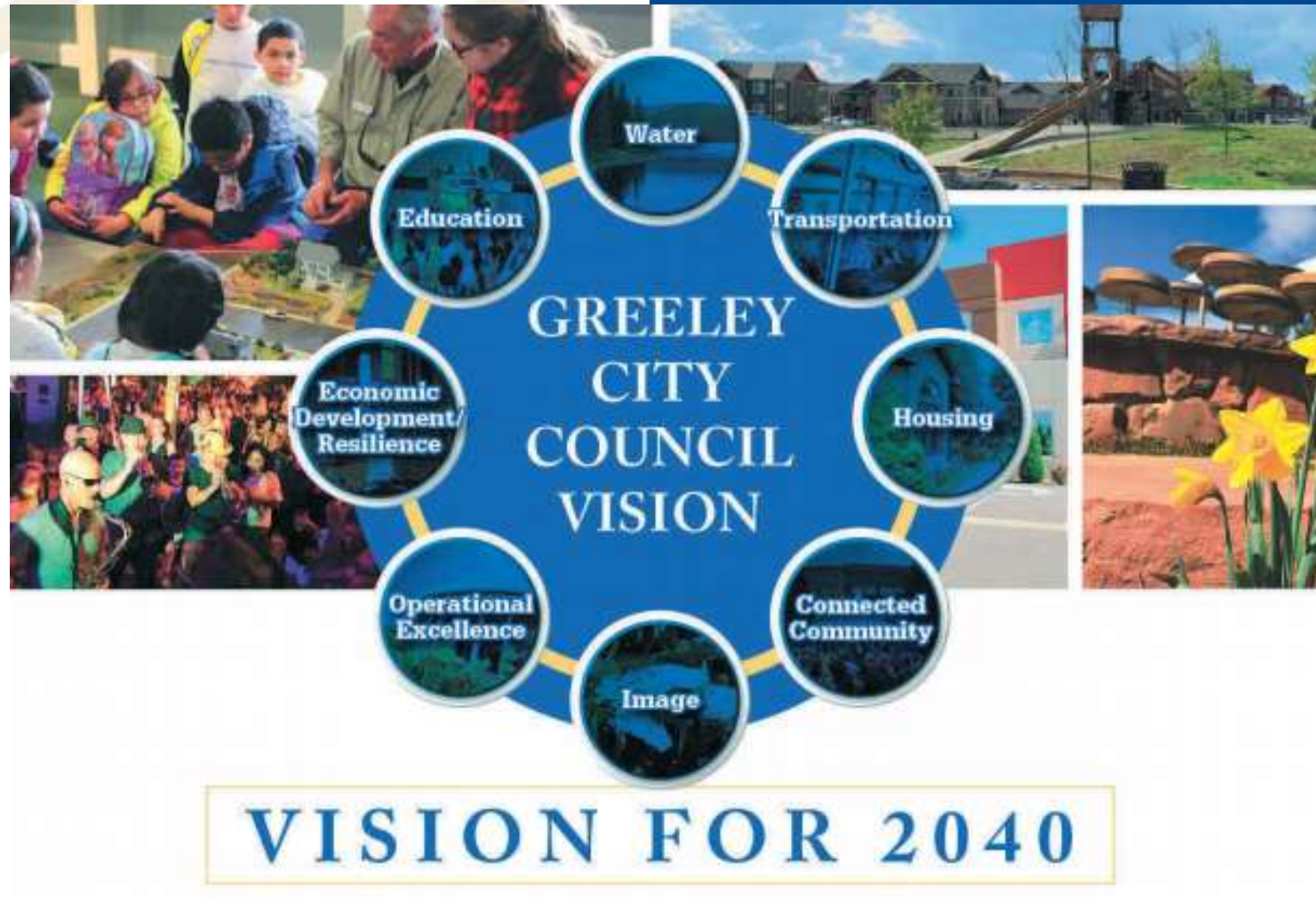
Dry Utility Jurisdictional Comparison

Jurisdiction	Requirements
Greeley	Based on actual costs from contractors for the infrastructure placed in the ROW. It varies depending on each project.
Eaton	
Erie	
Evans	Requires permit for ROW, but not easements; \$65 base fee for <=25sf and \$13.50 for every additional 25 sf Website: https://www.evanscolorado.gov/sites/default/files/fileattachments/public_works/page/951/city_of_evans_row_excavation_permit_2019.pdf
Firestone	
Frederick	The Town does have a permit for work that occurs in and adjacent to the right-of-way. The permit and fee schedule (Chapter 11 – Streets, Sidewalks and Public Property) are available on our website but a copy is also attached. The Town’s Right-of-Way Permit has a non-refundable fee of \$150, plus a refundable deposit based on the type and amount of work being done similarly based on area, quantity and length.
Ft. Collins	
Ft. Lupton	We do have a permit requirement through Public Works for working within the ROW
Johnstown	Don’t require a permit to work in our easements, to my knowledge. We do issue a ROW permit for construction/work. ROW application is located: https://www.fortluptonco.gov/DocumentCenter/View/3289/Public-Works-Permit-PDF
Larimer County	
Longmont	Before a Right-of-Way Permit is issued, the applicant shall provide a current Certificate of Insurance for: <ul style="list-style-type: none"> • Commercial General Liability • Limits: \$350,000 / person, \$1,000,000/occurrence; ermit applications for private infrastructure (i.e. underdrain systems or fiber optics) will require both a Work in the Right-of-Way permit and Infrastructure Permit. An Infrastructure Permit will require additional review time, fees, and added requirements. Infrastructure Permit applications are not available online. The Infrastructure Permit Guide will provide you with the steps necessary for permit issuance. The Certificate of Insurance shall include the City of Longmont, its Officers, Agents, and Employees as “Additional Insureds” Permit: https://www.longmontcolorado.gov/home/showdocument?id=1592
Loveland Location of ROW fees	We do have a work in the right-of-way permit (question #1). Len Marques handles these. Yes we do have a ROW Permit for any work being performed within the Rights-Of-Way of the City of Loveland. This includes alley ways, and private roadways (so they meet our standards of repair per Code). Here is a link to our ROW Permit and all the questions frequently asked. The link: http://www.cityofloveland.org/departments/public-works/streets/permits the quick version of the fees are on the ROW Permit for quick reference. I have included or attached the fee schedule for the rates, fines, etc.
Thornton	
Weld County	The Right-of-Way Use Permit is a tool to help regulate unauthorized obstructions of, excavations in, and use of the County’s rights-of-way and easements by utilities and line providers by requiring permits for ALL construction activities within the Weld County rights-of-way, whether gravel or paved, and including all public drainage easements. A Right-of-Way Use Permit grants a permit holder permission to occupy, excavate, survey, perform locations, or construct facilities within the County rights-of-way or easement, and provide for the subsequent restoration upon completion. These permits have a flat fee, but it varies.
Windsor	

Housing Plan Progress/Update

Benjamin Snow, Director, Economic Health & Housing
Brad Mueller, Director, Community Development

July 21, 2020



NoCo Housing Now



<https://nocohousingnow.org/>

A Call for Regional Housing Dialog

The Fort Collins Board of REALTORS®, in support of the City of Fort Collins' Affordable Housing Strategic Plan, has established NoCo Housing Now: A Call for Regional Housing Dialog. This campaign will encourage our local elected officials to consider regional dialog that identifies approaches to address housing affordability.

This campaign seeks to assure that the critical regional issue of housing affordability is being discussed on a regional scale. FCBR is supporting this effort via outreach to local government agencies with an offer of support for the formation of a regional task group, or other similar approaches that bring our communities together.

Now is the Time

The Fort Collins Board of REALTORS® believe now is the time for municipalities and key stakeholders to come together to address housing affordability with regional cooperation in mind.

History

NoCo Housing Now is an effort begun by the Fort Collins Board of REALTORS® in conjunction with the City of Fort Collins and NoCo Home Builders Association to establish a regional dialog about housing affordability in Northern Colorado.

From this initial effort, a regional coalition of the willing made up of over 50 partners, including 13 different cities/towns and 2 different counties has been formed. The NoCo Housing Now Coalition is a blend of interests comprised of non-profits, city/county staff, elected officials, housing industry representatives, economic interests, grassroots members, small & large businesses, University stakeholders, and interested community members.

The purpose of NoCo Housing Now is to serve as a convening group for discussion, partnerships, and intentional efforts to educate and address key issues related to housing affordability in Northern Colorado.



CITY OF GREELEY STRATEGIC HOUSING PLAN

An Element of the Imagine Greeley
Comprehensive Plan



STRATEGIES

Nine Housing Strategies:

1. Amend the Development Code to promote housing choice;
2. Minimize development costs for affordable housing;
3. Engage alternative housing providers to build affordable housing;
4. Improve the housing product mix;
5. Address the impact of raw water cost on housing affordability;
6. Complete subarea and neighborhood plans;
7. Create more ownership, move-up, and executive housing options;
8. Encourage vocational training, and apprentice programs for building trades; and
9. Facilitate development of manufactured home communities as an important affordable housing option.

IMPLEMENTATION

Achieving the goals outline in the *Imagine Greeley Comprehensive Plan* will require new policies, new programs, new and deeper partnerships with non-profit organizations, land use development code changes, and possible zoning district changes.

Similarly, the strategies discussed in this *Strategic Housing Plan* will require separate and specific implementation. Adoption of the plan does not begin the implementation of any item nor legally bind the City to implement any particular strategy. Given that the actions are intended to take place in the future and that we cannot bind future Councils, there must be enough flexibility to permit future Councils to set priorities based on the City's needs.

The table below provides specific actions or "next steps" the City can pursue to implement the nine strategies. For each action a lead department or organization is identified who would likely spearhead the effort. Each actions was also assigned a time frame based on need and feasibility. Time frames are described as short-term meaning one to three years, mid-term meaning three to five years, long-term meaning five years or more, or ongoing for actions that needs to continue over time.

STRATEGY	ACTION	PRIORITY			IMPLEMENTED BY	
		Ongoing + Short Term (1-3 years)	Mid-Term (3-5 years)	Long Term (5 or more years)	City Lead	Partners

Dry Utility Jurisdictional Comparison

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Windsor	

Dry Utility Jurisdictional Comparison

Implementation/work item	Status
<i>Evaluate costs and benefits of having City front-end sewer trunk lines</i>	Completed. Have worked with Water/Sewer to implement Local Improvement Districts for the landowners of Ashcroft Draw (Cobblestone) and the greater Lake Bluffs service area (i.e., Poudre Trunk Line). In addition, the on-going Sewer Master Plan seeks to identify development predictability; this information could be used to create economic development priority areas.
<i>Update the Redevelopment Resource Guide</i>	Completed. Seeking final approval/edits from EH&H before posting; otherwise is available for use.
<i>Adopt short-term rental (e.g. AirBnB) regulations</i>	Worksession with Council is March 3. Public and committee engagement is complete; final adoption will depend on Council feedback at the worksession.
<i>Implement the “Water Smart Neighborhood Policy”</i>	Nearly all details have been completed to pilot this concept with the Cardinal Acres subdivision (20 th Street & near 66 th Ave). Likely next pilot would be Cobblestone.
<i>Amend the Development Code for housing</i>	Preliminary elements have been identified (minimum lot size, subdivision requirements, etc.), but this will be fully implemented with the overall Development Code update.



Questions?

Benjamin Snow, Director, Economic Health & Housing
Brad Mueller, Director, Community Development

Council Agenda Summary

July 21, 2020

Agenda Item Number 14

Key Staff Contact: Roy Otto, City Manager, 970-350-9750

Title:

COVID-19 Update

Summary:

There will be a brief update to Council regarding COVID-19.

Council Agenda Summary

July 21, 2020

Agenda Item Number 15

Key Staff Contact: Cheryl Aragon, Interim City Clerk, 970-350-9742

Title:

Appointment of applicants to the Civil Service Commission, Commission on Disabilities, Construction Trades Advisory & Appeals Board, Downtown Development Authority, Judicial Review Board, Museum Board, and Youth Commission

Summary:

Council appointment is needed to the above-mentioned boards and commissions due to vacancies and term expirations. Staff continues to actively recruit to fill all vacant positions.

In addition to the traditional appointment to the Downtown Development Authority (DDA), the DDA is recommending that Mike Ketterling be appointed as an ex-officio/non-voting member of the DDA. This requires a 2/3 vote of the sitting members of the DDA and approval by City Council (per DDA by-laws). The draft minutes from the June 18, 2020, DDA meeting have been attached to provide proof of the 2/3 vote by the DDA to appoint Mr. Ketterling as an ex-officio/non-voting member. This action can be found on page 3 of the draft minutes.

Fiscal Impact:

Does this item create a fiscal impact on the City of Greeley?	No
If yes, what is the initial, or, onetime impact?	
What is the annual impact?	
What fund of the City will provide Funding?	
What is the source of revenue within the fund?	
Is there grant funding for this item?	N/A
If yes, does this grant require a match?	
Is this grant onetime or ongoing?	
Additional Comments:	

Legal Issues:

The City Attorney's Office reviewed the applications and advised of potential conflicts of interest.

It should be noted that there is a possibility that the applicants currently serve as a volunteer on a board or commission besides the one they are applying to. It is also important to point out to the applicants that there are always potential conflicts that exist with business and investments, current jobs or relatives and family members

coming before the Board or Commission.

Should such conflicts arise, the Board or Commission member simply excuses themselves from that particular item but such a potential conflict does not preclude anyone from serving on a Board or Commission in general, just that particular agenda item.

Other Issues and Considerations:

Not applicable.

Applicable Council Priority and Goal:

Infrastructure & Growth: Establish the capital and human infrastructure to support and maintain a safe, competitive, appealing and successful community.

Decision Options:

- 1) Appoint or reappoint the individuals to serve on applicable board or commission;
or
- 2) Direct staff to re-advertise applicable vacancy.

Council's Recommended Action:

No motion is necessary. The City Council's Policies and Protocol authorize appointment of Board and Commission members by written ballot, which can be used in lieu of a motion or voice vote for individual or multiple appointments. This policy was adopted by Council as a time-savings measure. Accordingly, a ballot is attached for Council's use in making appointments. Candidates receiving a majority vote (at least 4 votes) are appointed with no further action needed by Council.

Attachments:

Ballot

July 2020 Boards and Commissions Transmittal Summary
Draft DDA Minutes (June 18, 2020)



Applicants for the boards and/or commission listed below are in alphabetical order and recommendations from the interviewing team are shown in bold.

***** BALLOT *****

Civil Service Commission
<i>1 Vacancy</i>
<input type="checkbox"/> Susan Knoeckel <input type="checkbox"/> (RECRUIT FOR ADDITIONAL APPLICANTS)

Judicial Review Board
<i>2 Vacancies</i>
<input type="checkbox"/> JASON HILL (I) <input type="checkbox"/> GERALD SHADWICK (I) <input type="checkbox"/> (Recruit For Additional Applicants)

Commission on Disabilities
<i>1 Vacancy</i>
<input type="checkbox"/> OLIVIA CYTRYNOWICZ <input type="checkbox"/> Bernadette Lambert <input type="checkbox"/> Lauren Varley <input type="checkbox"/> (Recruit For Additional Applicants)

Museum Board
<i>1 Vacancy</i>
<input type="checkbox"/> Mallory Mattivi <input type="checkbox"/> MARK MOODY <input type="checkbox"/> (Recruit For Additional Applicants)

Construction Trades Advisory & Appeals Board
<i>1 Vacancy</i>
<input type="checkbox"/> DON HOBART (I) <input type="checkbox"/> (Recruit For Additional Applicants)

Youth Commission
<i>2 Vacancies</i>
<input type="checkbox"/> MYRNA WEIS-CALDERON <input type="checkbox"/> (RECRUIT FOR ADDITIONAL APPLICANTS)

Downtown Development Authority
<i>1 Vacancy</i>
<input type="checkbox"/> COOPER ANDERSON <input type="checkbox"/> Lyndsey Crum <input type="checkbox"/> Jeff Dyke <input type="checkbox"/> Andrew Feinstein <input type="checkbox"/> (Recruit For Additional Applicants)

Downtown Development Authority (Ex-Officio)
<i>1 Vacancy</i>
<input type="checkbox"/> Mike Ketterling <input type="checkbox"/> (Recruit For Additional Applicants)

Incumbent = (I)

Boards & Commissions Transmittal

July 10, 2020

Key Staff Contact: Jerry Harvey, Assistant City Clerk, 350-9746

Interview Date

July 13, 2020

Council Interview Team

Councilmembers Clark and Payton

Council Appointment Date

July 21, 2020

Boards and Commissions Being Interviewed

- Civil Service Commission
- Commission on Disabilities
- Construction Trades Advisory Board
- Downtown Development Authority
- Judicial Review Board
- Museum Board
- Youth Commission

Council's Recruitment and Qualifications Policy

General recruitment efforts shall be made with special measures being taken to balance ward representation and attract minority and special population applicants. Generally, volunteers will be limited to serving on one board or commission at a time. (14.2. (c)(2) City Council, Policies and Protocol)

Demographic information of existing board members and any specialty requirements are contained within the attached Membership Rosters.

Legal Issues

The City Attorney's Office reviewed the applications and the attached memorandum addresses any potential conflicts of interest.

It should be noted that there is a possibility that the applicants currently serve as a volunteer on a board or commission besides the one they are applying to. It is also important to point out to the applicants that there are always potential conflicts that exist with business and investments, current jobs or relatives and family members coming before the Board or Commission.

Should such conflicts arise, the Board or Commission member simply excuses themselves from that particular item but such a potential conflict does not preclude anyone from serving on a Board or Commission in general, just that particular agenda item.

Applicable Council Goal or Objective

Infrastructure & Growth – Establish the capital & human infrastructure to support & maintain a safe, competitive, appealing, and dynamic community.

Decision Options

1. Recommend candidates for appointment; or
2. Direct staff to re-advertise applicable vacancy.

Attachments

1. Interview Schedule
2. Conflict Memorandum from City Attorney's Office
3. Sample Ballot
4. Membership Rosters & Input from above mentioned Boards and Commissions
5. Applications of those being considered for interview and/or considered for appointment

Transmittal reviewed by:  Roy Otto, City Manager  Cheryl Aragon, Interim City Clerk

**Greeley Downtown Development Authority
Minutes – Board of Directors Meeting Virtual Zoom Meeting – June 18th, 2020**

Board Members in Attendance: Phil Grizzle, Chair & Zoe's Café & Events; Drew Notestine, Vice Chair/Secretary & Thomas & Tyler LLC; Ken Schultz, Treasurer; Mike Ketterling, Northern Engineering; Linda Winter, Accessories With A Flair!...and Hair; Tommy Butler, Greeley City Council; Justin Ghofrani, Kress Cinema & Lounge; Brian Seifried, Luna's Tacos & Tequila; Logan Richardson, Richmark Companies; Kristin Zasada, Greeley City Council; Tom Grant, Grant & Hoffman; Matt Anderson, Ancon Construction

Additional Attendees: Becky Safarik, City of Greeley; Steve Moreno, Weld County Commissioner; Andrew Wronkoski, Greeley Police Department

DDA Staff in Attendance: Bianca Fisher, Executive Director; Karen Baumgartner, Project Coordinator

Meeting Called to Order:

Phil Grizzle called the meeting to order at 7:34 am

Minutes:

Phil Grizzle referenced the May DDA Minutes for approval. Drew Notestine moved to approve, Tom Grant seconded, motion carried.

Safety Report from the Greeley Police Department:

Officer Andrew Wronkoski reported:

- The number of calls is still down citywide but there was a call from a woman who was stopped at the stoplight at 9th Street & 8th Avenue when someone tried to open her car door. Remember to keep your doors locked
- Demonstrations went off without a hitch because we have a good community. The GPD was ready if there were any problems but they were not needed
- They do have one officer on quarantine, but you will see the Downtown officers walking around and the SRO's are downtown on their bikes.
- As always, Officer Wronkoski reminded everyone that they should call if they have any issues or concerns
- Becky Safarik let Officer Wronkoski know that there might be another rally this weekend in Lincoln Park
- Bianca let Officer Wronkoski know that we have gotten feedback that there is a lot more graffiti/tagging downtown and was wondering if it might be a good idea to see if the City's Graffiti Removal team could try match color a little better
- Steve Moreno wanted to echo the comments about how proud the County is of Greeley and how well the protests went
- Drew Notestine asked Officer Wronkoski if open container has been a problem in the park and downtown; Officer Wronkoski said that is a hard question to answer because it's at officer discretion on how to handle it but you tend to see the same people over and over and it's not more of an issue than it's been in the past

Downtown Open Consumption Ordinance presentation from Becky Safarik:

The City is currently offering a Temporary Operational Opportunity where restaurants and bars may expand their premises until September 11th. Turnaround time to get this implemented is 1-3 days or 7-8 days if it includes alcohol; all fees have been eliminated or underwritten.

The Downtown Restaurant Proposal for an Open Consumption Ordinance includes:

- 8th & 9th Street plazas, including the Chase Plaza and the walkway, would be closed 100% of the time while the ordinance is in effect to create a food/drink court that would operate from 11 am-midnight Monday-Friday and Saturday-Sunday from 8am-Midnight
- Cannot be part of Go Cup process because that is a different set of rules, but it means that anyone may seat themselves in the plaza seating area at any time, can drink alcohol in this area in an open container with the only restriction being that the container cannot be glass, and consumption of food and drink in this area does not have to originate from the downtown businesses
- In addition to passing the ordinance, the City must issue a Revocable Permit which requires a proposed seating plan, maintenance commitment, insurance, and signage noting the extent of the allowed alcohol consumption area
- Whoever is responsible for the permit, which will most likely be the GDPA, will be required to get tables and chairs, make sure that tables are not pulled together, that trash is taken care of, and that all rules are followed because the permit can be revoked at any time
- Tables can be set up around the plaza and in front of businesses, there must be a well-developed pedestrian corridor to get the businesses, and the City would hope that the group would place tables in consultation with businesses along the street
- Behaviors like over consumption or public disturbances would be managed by calling GPD but smoking is allowed and people can solicit donations and petitions
- Council introduced the amended ordinance on June 9th, a notice was published, the DDA shared information summary information and a copy of the introduced ordinance to the downtown community, and a Public Hearing for the Ordinance will be on Tuesday and council will make their decision

Brian Seifried presented from the perspective of 14 of the eating/drinking establishments Downtown who are still at 50% capacity with traffic that is still light and who hold a fear that not all of them will survive

- Want to use space as community space to provide the folks of Greeley with something to do this summer, and the goal is to provide a safe area for the community so closing the streets would be most conducive to obtaining that goal.
- The group would take turns to clear trash, sanitize and provide security for the majority of the time but would be hiring security, and possibly someone to help with trash, from 6 pm-midnight on Friday and Saturday
- The group wants to make sure they are working with other businesses to ensure there are pedestrian walkways
- Hope to get folks to start thinking about Downtown again and would like to ask if the board would share support for the ordinance with City Council

A discussion followed Becky and Brian's presentations that included discussions about who the applicant would be, concerns about closing down the streets when people are still handling daily needs with other businesses downtown, the need to be sensitive to the needs of the other businesses and parking, the need to make sure that everyone is heard, the suggestion to draft a good neighbor agreement that addresses common sense items/rules such as trash, noise, etc. and where to go if there is a problem, the clarification that the space in front of bars and restaurants along 8th and 9th Avenues would not be included, the restaurant/bar group's desire to make this a to make sure that this is not a drain on the DDA staff, and whether this might lead to problems with other areas of the City. At the end of the discussion, Brian Seifried moved to approve DDA staff to draft and submit a letter of support to Greeley City Council in regard to the proposed Open Consumption ordinance being proposed for the 8th and 9th Street Plazas, Mike Ketterling seconded, motion passed.

City update from Becky Safarik:

Becky Safarik reported:

- Greeley Area Recovery Fund is still available for businesses
- The City is following state rules about what facilities can be opened at what level, are considering budget concerns regarding bringing back furloughed employees, and are actively pursuing CARES funding to help with costs; re-opening dates for the following City facilities in downtown are:
 - Rec Center – September 1st
 - Senior Center – August 1st
 - UCCC – Indefinitely closed
 - Museums – Not for while
 - Ice Haus – July 1st
- Protests were well organized and very peaceful, and the Human Relations Commission wants to continue the constructive dialogue and will start a series of forums on this topic
- University District Committee is working on plans to help 16th Street businesses with increased capacity and will begin re-paving/re-stripping 9th Avenue

Executive Director Report from Bianca Fisher:

Bianca Fisher reported:

Personnel/Office Update

- Alison Hamling has been placed on paid administrative leave effective June 17 until the Board can hold a closed meeting to discuss recent comments made on social media
- Bianca will send out a doodle poll to the board to get a special meeting in place to discuss what the next moves will be
- DDA office officially reopened full time on Tuesday, May 26th; remote working will continue when/if needed

Board Members

- We are excited that Logan and Linda have been reappointed by City Council this past Tuesday evening; they are both valuable members of our Board
- Mike Ketterling, whose final term expires next year, has offered his official resignation as a voting board member to make room for an excellent candidate that has stepped forward with an interest in serving on our board. Mike's letter of resignation is included in the board packet and, if accepted, he will become an ex-officio board member. Tom Grant moved to accept Mike Ketterling's letter of resignation from the DDA Board and appoint him to an ex-officio, non-voting Board member through the remainder of his final term, set to expire in June 2021, Ken Schultz seconded, motion carried.

Finances

- Review TIF Cash Flow

Economic Development/Business Support

- Working with Brindle Marketing on finalizing concept to launch campaign for Downtown Greeley re-opening
- Working with the restaurant/bar group as they explore options of expanding outdoor dining and drinking; City Council will hold public hearing on June 23 about a proposed "Open Consumption" ordinance that would effectively close 8th and 9th Streets
- Engaged legal to draft TIF agreement for The 609 Studios; owner will be converting ground level retail to additional residential units
- Please fill out the Census and encourage others to do the same—Greeley is only at 59% response rate and this will impact the funds we receive for our community

Public Realm

- The committee has approved the request from Armando Silva for an increase rate to re-do the Einstein mural; he will submit a new design and potentially begin painting in July
- Finalizing wayfinding and signage plan with BHA—3 monument entry signs & several smaller wayfinding signs; they should be shared with the Board next month
- All planters have been planted and will be maintained by Happy Life Gardens for the season
- Top Gun Pressure Washing has completed the comprehensive annual plaza cleaning and will continue to clean the alley and walkthrough once a month through September
- Bill continues to be furloughed until an appropriate time to come back to work doing part time maintenance for the DDA
- Keep an eye on the DDA website as we will be adding an interactive map of all the art in downtown—kudos to Karen for compiling this extensive list!

Promotion & Community Partnerships

- Asked to be a part of the City of Greeley's Long-Term Recovery Committee and attended first introductory meeting
- Meet twice a month with other DDA directors in Colorado to discuss and brainstorm issues and opportunities as it relates to post-COVID reopening through Downtown Colorado Inc (DCI)
- Still meeting regularly with local partners (City, Chamber, Upstate, SBDC, NoCo communities) to stay on top of business resources and current information
- Attended the University District Zoom meeting to learn about the updated status of the 16th Street project and discuss COVID impacts as it relates to UNC, the City, and downtown
- Continue to hold virtual GDA meetings to hear how our downtown businesses are doing; the hope is to move to in-person next month
- Shared about COVID-related impacts and how our district has responded at the BizWest editorial board

Business Updates

Now Open:

- Brooklyn Finds Design Co.- 918 1/2 9th Avenue
- Weld Trust- 813 8th Avenue

Recently Closed:

- Tony Roma's- 701 8th Street
- Doug's Hang Up- 818 9th Street

Property Updates

Recently Sold:

- 1014-1020 9th Street (Lincoln Plaza Annex)- \$2,868,000 on 5/13 to LoHi FC LLC

For Sale:

- 728 16th Street (Roma's)- \$498,000; 1,945 SF
- 1619 8th Avenue (former Cisneros)- \$165,000, 720 SF
- 930 8th Avenue (AIM Global NoCo)- \$1,050,000; 8,000 SF
- 1120 6th Avenue (old Ice House Building)- \$1.8M; 29,000 SF

For Sale or Lease:

- Various 8th Avenue properties (1024, 1130, 1215, 1228, 1235, 1309, 1320, 1516 8th Avenue)- price negotiable, range of SF, seeking best and highest use

Retail/Commercial for Lease:

- 810 8th Street (former Collins, Liu & Assoc.)- 5,100 SF; \$7/SF
- 800 8th Avenue, Ste. 135 & 140- 285-5,493 SF; \$16-\$18/SF NNN
- 807 17th Street, Unit C, G & H- 1,328-4,003 SF; \$6.50-\$13.50/SF
- 1540 & 1640 8th Avenue (new Maddie Apts)- commercial endcaps; \$30/NNN

Weld County Updates from Steve Moreno:

Steve Moreno reported that things going well and moving forward at the County.

Public Realm Update from Mike Ketterling:

Mike Ketterling reported that Bianca had covered most of the Public Realm information during her report, but he did mention that we are still working on wayfinding signage and should be seeing something about that soon. He also mentioned that we would continue with alley cleanings.

The meeting adjourned at 8:59 am

Council Agenda Summary

July 21, 2020

Agenda Item Number 16

Title

Scheduling of Meetings, Other Events

Summary

During this portion of the meeting the City Manager or City Council may review the attached Council Calendar or Worksession Schedule regarding any upcoming meetings or events.

Attachments

Council Meeting/Worksession Schedule
Council Meetings/Other Events Calendar

City Council Meeting Scheduling

Current as of 7/17/2020

This schedule is subject to change

Date	Description	Sponsor	Placement/Time
July 21, 2020 Council Meeting	Ordinance - Intro - Stoneybrook Subdivision Filing No. 1 Block 1 Lot 4 Rezone	Brad Mueller	Consent
	Public Hearing Tract B Weld County Business Park PUD, 1st Amendment	Brad Mueller	Regular
	Strategic Housing Plan Progress/Update (non-action)	Ben Snow	Regular
July 28, 2020 Worksession Meeting	Municipal Code Recodification - Review of Changes	Cheryl Aragon	0.75
	Results of HRC Meeting and Cultural Awareness Training	Becky Safarik	0.50
August 4, 2020 Council Meeting	Resolution - Naming of Stampede Stage	Andy McRoberts	Consent
	Appointment/Resolution - Subcommittee to Discuss Evaluation of Employees that Report to Council	Maria Gonzales-Estevez	Consent
	Ordinance - Intro - Municipal Code Recodification	Cheryl Aragon	Consent
	Ordinance - Intro - Marketplace Rezone	Brad Mueller	Consent
	Ordinance - Intro - Code Updates regarding Short Term Rentals	Brad Mueller	Consent
	Ordinance - Stoneybrook Subdivision Rezone	Brad Mueller	Regular
	Stoneybrook Subdivision Preliminary PUD	Brad Mueller	Regular
August 11, 2020 Worksession Meeting	Quarterly Financial Report (non-action)	Robert Miller	Regular
	Discussion of Development Impact Fees	Robert Miller	1.00
August 18, 2020 Council Meeting	Resolution - Northeast All Hazards Region 2020 Grant Award	Robert Miller	Consent
	Resolution - IGA with Weld County for the Coordinated Election	Cheryl Aragon	Consent
	Ordinance - Intro - Ballot Measures for Tax Renewals	Robert Miller	Consent
	Ordinance - Final - Municipal Code Recodification	Cheryl Aragon	Regular
	Ordinance - Final - Marketplace Rezone	Brad Mueller	Regular
	Ordinance - Final Code Updates regarding Short Term Rentals	Brad Mueller	Regular
August 25, 2020 Worksession Meeting	Impact Fee Study	Robert Miller	1.00
	Resource Overview for the 2021 Budget & 2021-2025 Capital Improvement Program	Robert Miller	1.00

July 20, 2020 - July 26, 2020

July 2020

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19	20	21	22	23	24	25
26	27	28	29	30	31	

August 2020

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Monday, July 20

Tuesday, July 21

■ **6:00pm - City Council Meeting** (Council's Chambers, 1001 11th Avenue) 📍

Wednesday, July 22

Thursday, July 23

Friday, July 24

Saturday, July 25

Sunday, July 26

July 27, 2020 - August 2, 2020

July 2020							August 2020						
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Monday, July 27

- 11:30am - 12:30pm Greeley Chamber of Commerce (Hall)
- 6:00pm - 7:00pm Youth Commission (Butler)

Tuesday, July 28

- 6:00pm - 9:00pm City Council Worksession
(<https://zoom.us/j/508162666>) - Jessica Diagona

Wednesday, July 29

- 7:00am - 8:00am Upstate Colorado Economic Development
(Gates/Hall) (Upstate Colorado Conference Room) - Council Master
Calendar

Thursday, July 30

Friday, July 31

- 11:30am - 12:00pm Bellvue WTP's New Treatment Building Grand
Opening (4505 Filter Plant Road, Bellvue, CO) - Council Master
Calendar

Saturday, August 1


Sunday, August 2

August 3, 2020 - August 9, 2020

August 2020							September 2020						
Su	Mo	Tu	We	Th	Fr	Sa	Su	Mo	Tu	We	Th	Fr	Sa
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23	24	25	26	27	28	29	27	28	29	30			
30	31												




Monday, August 3

Tuesday, August 4

6:00pm - City Council Meeting (Council's Chambers, 1001 11th Avenue) 

Wednesday, August 5

Thursday, August 6

- 7:00am - Poudre River Trail (Hall)** 
- 3:30pm - IG Adv. Board (Butler)** 
- 6:00pm - MPO (Gates/Payton)** 

Friday, August 7

Saturday, August 8

Sunday, August 9

August 10, 2020 - August 16, 2020

August 2020							September 2020						
Su	Mo	Tu	We	Th	Fr	Sa	Su	Mo	Tu	We	Th	Fr	Sa
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23	24	25	26	27	28	29	27	28	29	30			
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Monday, August 10

Tuesday, August 11

■ 6:00pm - 9:00pm City Council Worksession
(<https://zoom.us/j/332065143>) - Jessica Diagana

Wednesday, August 12

Thursday, August 13

Friday, August 14

Saturday, August 15


Sunday, August 16

August 17, 2020 - August 23, 2020

August 2020							September 2020						
Su	Mo	Tu	We	Th	Fr	Sa	Su	Mo	Tu	We	Th	Fr	Sa
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23	24	25	26	27	28	29	27	28	29	30			
30	31												

Monday, August 17

Tuesday, August 18

6:00pm - City Council Meeting (Council's Chambers, 1001 11th Avenue) 

Wednesday, August 19

2:00pm - 5:00pm Water & Sewer Board (Gates) 

Thursday, August 20

7:30am - 8:30am DDA (Zasada/Butler) 

3:30pm - 4:30pm Airport Authority (Clark/Payton) 

Friday, August 21

Saturday, August 22

Sunday, August 23

Council Agenda Summary

July 21, 2020

Agenda Item Number 17

Title

Consideration of a motion authorizing the City Attorney to prepare any required resolutions, agreements, and ordinances to reflect action taken by the City Council at this meeting and at any previous meetings, and authorizing the Mayor and City Clerk to sign all such resolutions, agreements and ordinances

Council's Recommended Action

A motion to approve the above authorizations.

Council Agenda Summary

July 21, 2020

Agenda Item Number 18

Title

Adjournment